

# BAKER LUXURY COLLECTION

4910 NEW CENTRE DRIVE  
WILMINGTON, NORTH CAROLINA 28403

## DESIGN DOCUMENTS OCTOBER 2019

### NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTRACTOR SHALL CONTACT AT&T PRIOR TO ANY DEMOLITION TO ALLOW FOR AT&T TO DISCONNECT COMMUNICATIONS CABLES COMING INTO THE SITE.

### CONTACT THESE UTILITIES

**CITY OF WILMINGTON PLANNING & DEVELOPMENT**  
ATTN: GILBERT COMBS, PLANNER  
PH: 910-341-4861  
ATTN: ZONING INSPECTIONS  
PH: 910-254-0900

**CITY OF WILMINGTON ENGINEERING**  
ATTN: ERIC SEIDEL, PE, PROJECT ENGINEER  
PH: 910-765-7461

**PIEDMONT NATURAL GAS**  
ATTN: CATHY PLEASANT  
PH: 910-251-2827

**EMERGENCY DIAL 911**  
POLICE - FIRE - RESCUE  
ATTN: CITY OF WILMINGTON FIRE & LIFE SAFETY  
PH: 910-343-0696

**CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)**  
ENGINEERING/INSPECTIONS  
PH: 910-332-6560

OPERATIONS/MAINTENANCE  
PH: 910-322-6550

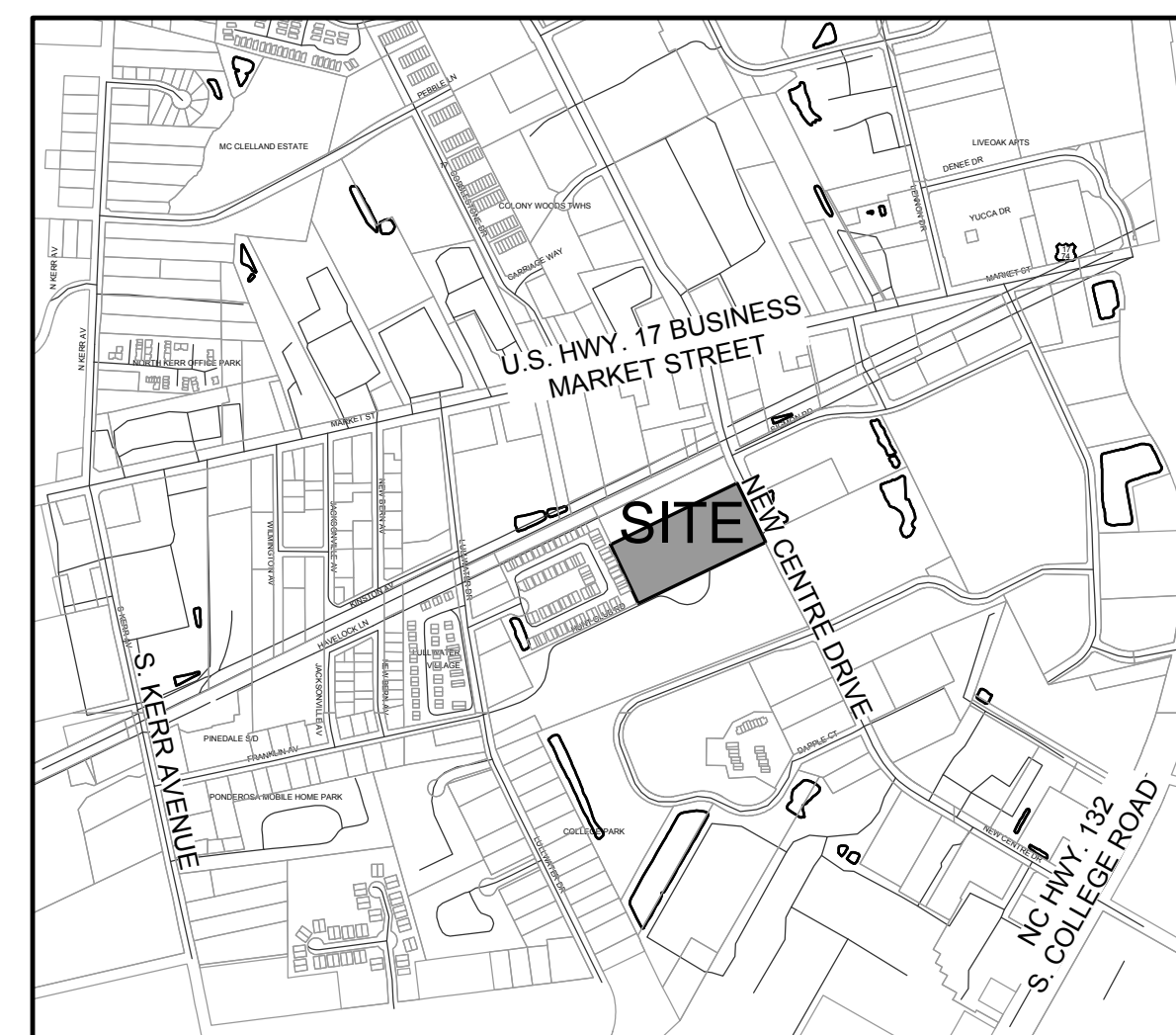
**DUKE ENERGY**  
DISTRIBUTION CONSTRUCTION SERVICE  
DEP CSC PH: 1-800-452-2777

TRANSMISSION AGENT  
BILL WILDER  
PH: 910-772-4903

**AT&T/BELL SOUTH**  
ATTN: STEVE DAYVAULT (BUILDING ENGINEERING)  
PH: 910-341-0741

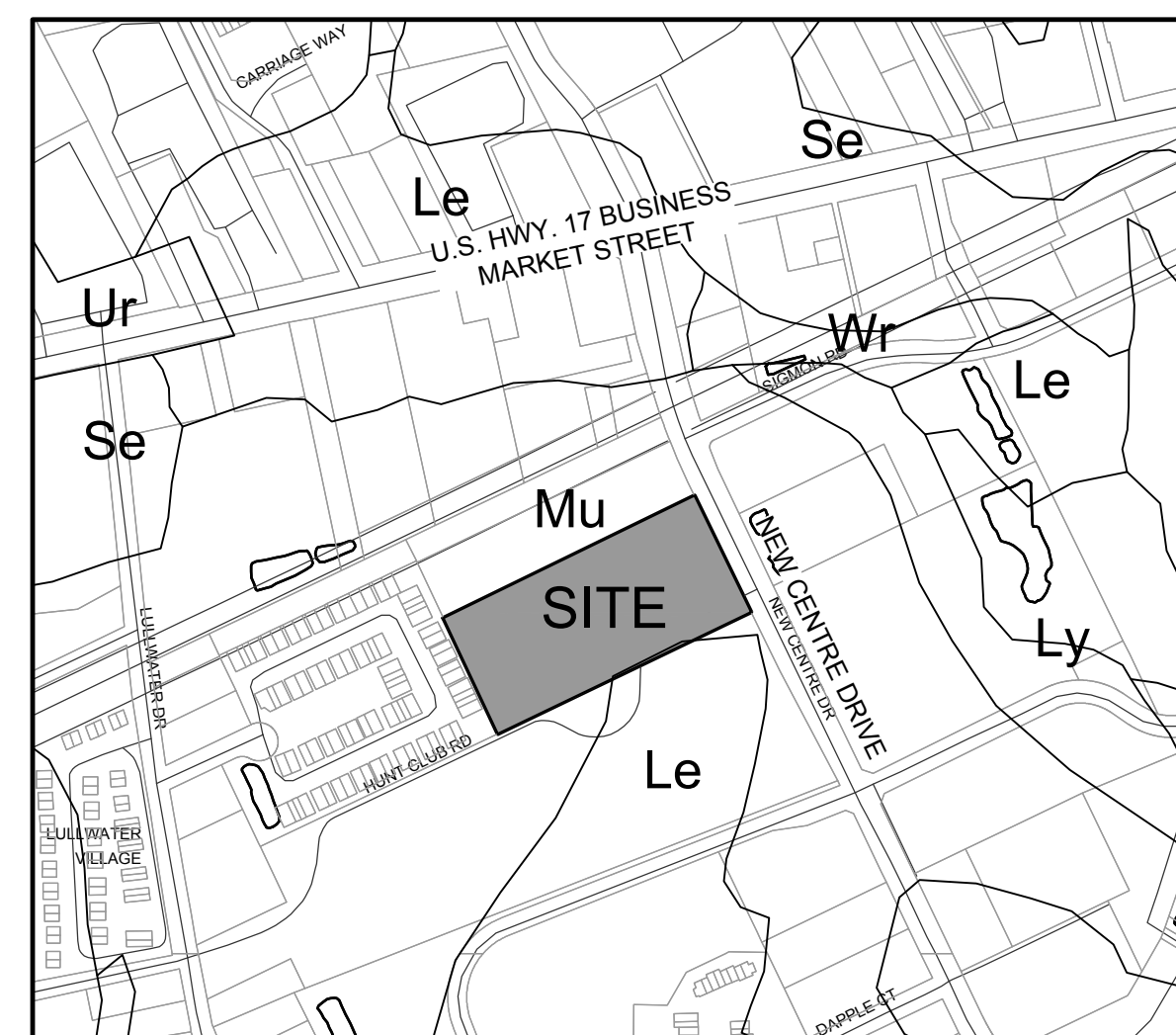
ATTN: JAMES BATSON, ENGINEERING  
PH: 910-341-1621

**SPECTRUM**  
GENERAL PH: 800-892-4357



**VICINITY MAP**

SCALE: 1" = 1,000'



**SOILS MAP**

SCALE: 1" = 500'

Approved Construction Plan	
Name	Date
Planning	
Traffic	
Fire	
NC DENR PWSS WATER PERMIT #:	
WATER CAPACITY:	_____ GPD
DWQ SEWER PERMIT #:	
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)	
Public Services • Engineering Division	
APPROVED STORMWATER MANAGEMENT PLAN	
Date:	Permit #
Signed: _____	

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

### OWNER / DEVELOPER:

BAKER MOTOR COMPANY  
1511 SAVANNAH HIGHWAY  
CHARLESTON, SOUTH CAROLINA 29407  
ATTN: DIXON DICKENS, PH: (810) 392-2700

### ENGINEER (CIVIL), SURVEY & LANDSCAPE ARCHITECT:

PARAMOUNTE ENGINEERING, INC.  
122 CINEMA DRIVE  
WILMINGTON, NORTH CAROLINA 28403  
ATTN: ROB BALLARD, P.E. (910) 791-6707 (CIVIL)  
ATTN: ALLISON ENGBRETSON, ASLA (LANDSCAPE ARCHITECT)  
ATTN: CHRISTOPHER GAGNE, PLS (SURVEY)

### SHEET INDEX

SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0 & C-1.1	GENERAL NOTES
C-2.0	SITE INVENTORY PLAN
C-2.1	DEMOLITION PLAN
C-2.2	SITE PLAN
C-3.0	GRADING-DRAINAGE-EC PLAN
C-4.0	UTILITY PLAN & PROFILE
C-5.0 & C-5.1	DETAILS
L-1.0	LANDSCAPE PLAN

### PREPARED BY:

**PARAMOUNTE**  
ENGINEERING, INC.

122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846  
PROJECT # 19271.PE



Professional Seal  
redacted on electronic  
copy per City of  
Wilmington Policy



**GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT**  
 Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

**SECTION E: GROUND STABILIZATION**

Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

**Note:** After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

**GROUND STABILIZATION SPECIFICATION**

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> <li>Temporary grass seed covered with straw or other mulches and tackifiers</li> <li>Hydroseeding</li> <li> Rolled erosion control products with or without temporary grass seed</li> <li> Appropriately applied straw or other mulch</li> <li> Plastic sheeting</li> </ul>	<ul style="list-style-type: none"> <li>Permanent grass seed covered with straw or other mulches and tackifiers</li> <li> Geotextile fabrics such as permanent soil reinforcement matting</li> <li> Hydroseeding</li> <li> Shrubs or other permanent plantings covered with mulch</li> <li> Uniform and evenly distributed ground cover sufficient to restrain erosion</li> <li> Structural methods such as concrete, asphalt or retaining walls</li> <li> Rolled erosion control products with grass seed</li> </ul>

**POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

**EQUIPMENT AND VEHICLE MAINTENANCE**

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

**LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

**PAINT AND OTHER LIQUID WASTE**

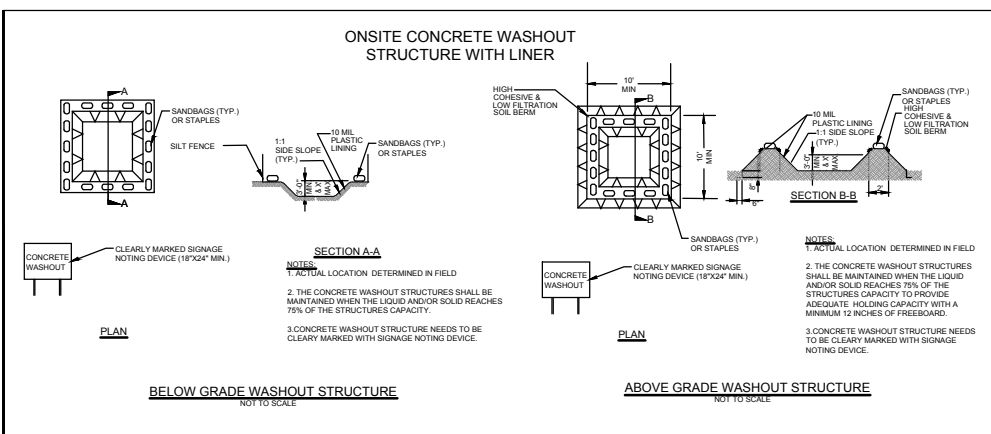
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

**PORTABLE TOILETS**

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

**EARTHEN STOCKPILE MANAGEMENT**

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



**CONCRETE WASHOUTS**

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

**HERBICIDES, PESTICIDES AND RODENTICIDES**

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

**HAZARDOUS AND TOXIC WASTE**

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

**NCG01 GROUND STABILIZATION AND MATERIALS HANDLING**

EFFECTIVE: 04/01/19

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION A: SELF-INSPECTION**  
 Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero". The permittee may use another rain-monitoring device approved by the Division.
(2) E&S Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measure. 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits. 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item 2(a) of this permit of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&S measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframes or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION B: RECORDKEEPING**  
**1. E&S Plan Documentation**  
 The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&S plan shall be documented in the manner described:

Item to Document	Documentation Requirements
(a) Each E&S Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&S Plan.	Initial and date each E&S Measure on a copy of the approved E&S Plan or complete, date and sign an inspection report that lists each E&S Measure shown on the approved E&S Plan. This documentation is required upon the initial installation of the E&S Measures or if the E&S Measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&S Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&S Plan.	Initial and date a copy of the approved E&S Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&S Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&S Measures.	Initial and date a copy of the approved E&S Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

**2. Additional Documentation**  
 In addition to the E&S Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This general permit as well as the certificate of coverage, after it is received.
- Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41.]

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION C: REPORTING**  
**1. Occurrences that must be reported**  
 Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
  - They are 25 gallons or more,
  - They are less than 25 gallons but cannot be cleaned up within 24 hours,
  - They cause sheen on surface waters (regardless of volume), or
  - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

**2. Reporting Timeframes and Other Requirements**  
 After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification</li> <li>Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.</li> <li>If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.</li> </ul>
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.</li> <li>A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.</li> </ul>
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.</li> </ul>
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(i)(6).]</li> <li>Division staff may waive the requirement for a written report on a case-by-case basis.</li> </ul>
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(i)(7)]	<ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(i)(6).]</li> <li>Division staff may waive the requirement for a written report on a case-by-case basis.</li> </ul>

NCDENR PWSS WATER PERMIT #: \_\_\_\_\_  
 WATER CAPACITY: \_\_\_\_\_ GPD  
 DWQ SEWER PERMIT #: \_\_\_\_\_  
 SEWER CAPACITY: \_\_\_\_\_ GPD  
 SEWER SHED # AND PLANT: \_\_\_\_\_  
 SEWER TO FLOW THROUGH NET: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

**Approved Construction Plan**  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_

**NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING**

EFFECTIVE: 04/01/19

REVISIONS:

CLIENT INFORMATION:

**PARAMOUNT ENGINEERING, INC.**  
 122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (O) (910) 791-6766 (F)  
 NC License #: C-2846

**GENERAL NOTES**  
 BAKER LUXURY COLLECTION  
 4910 NEW CENTRE DRIVE  
 WILMINGTON, NC 28403

**PROJECT STATUS**  
 CONCEPTUAL LAYOUT: \_\_\_\_\_  
 PRELIMINARY DESIGN: \_\_\_\_\_  
 FINAL DESIGN: \_\_\_\_\_  
 RELEASED FOR CONSTRUCTION: \_\_\_\_\_

**DRAWING INFORMATION**  
 DATE: 10/25/19  
 SCALE: N/A  
 DRAWN BY: ERB  
 CHECKED BY: RPB

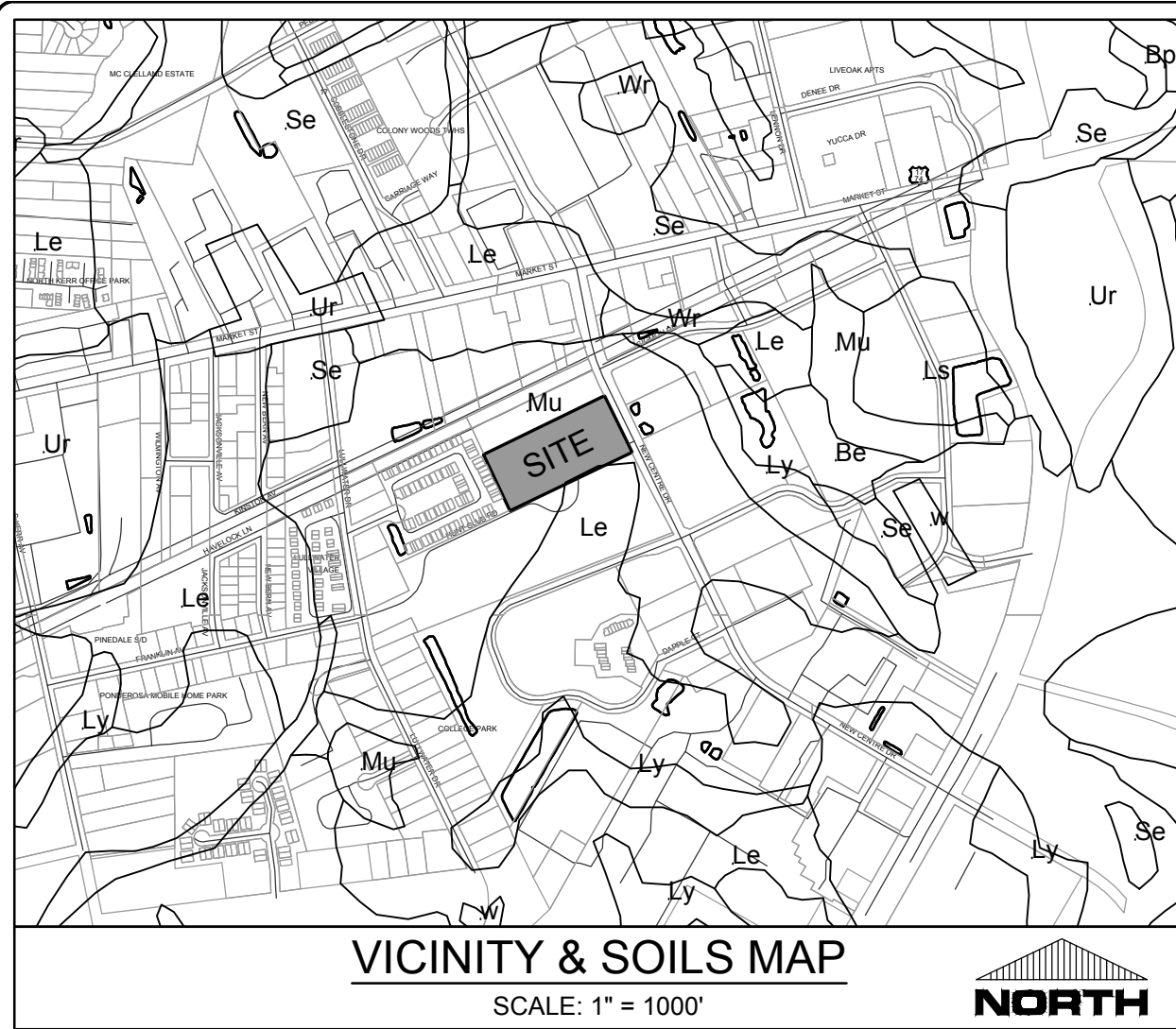
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**C-1.1**

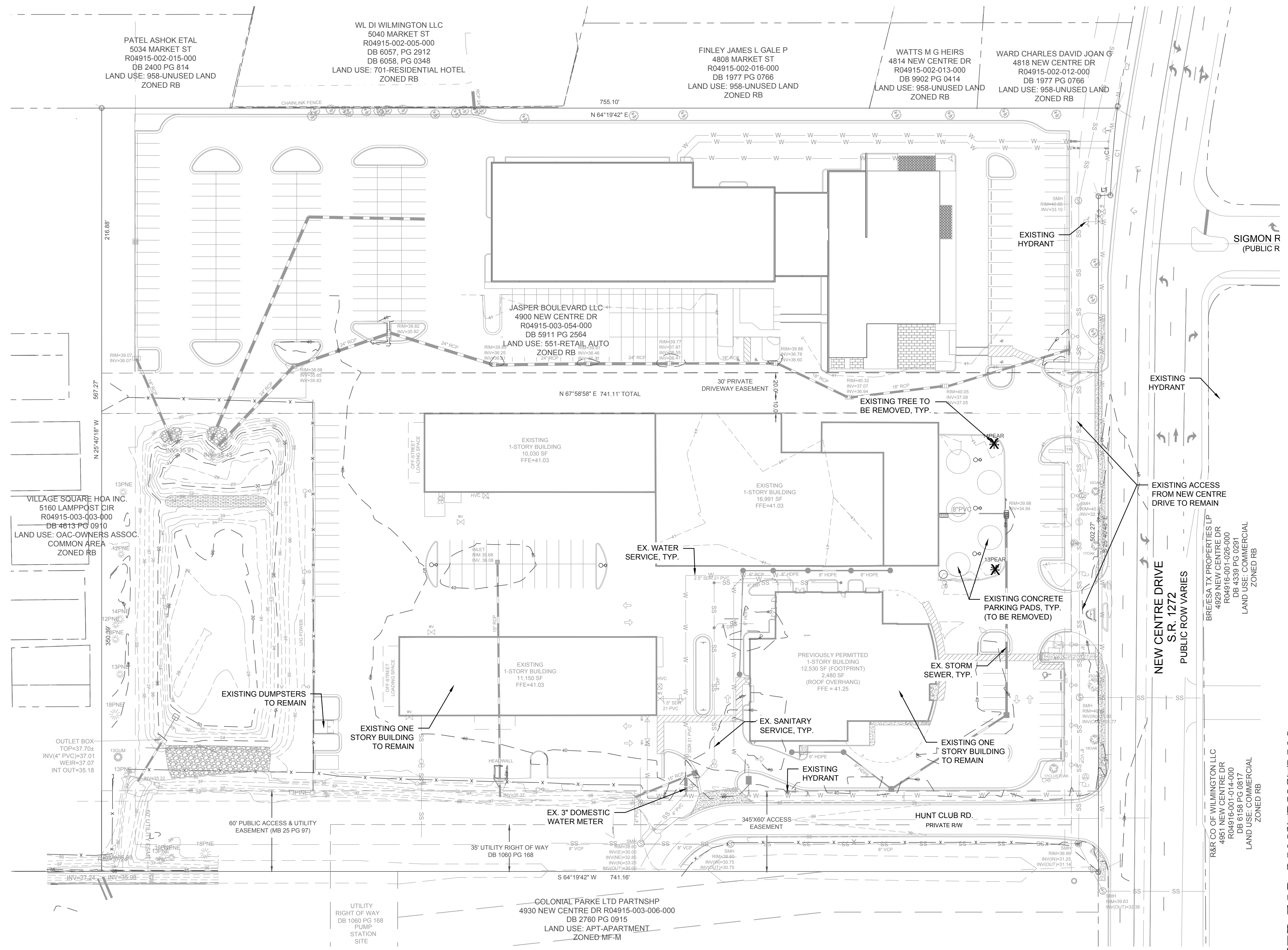
PEI JOB#: 19271.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



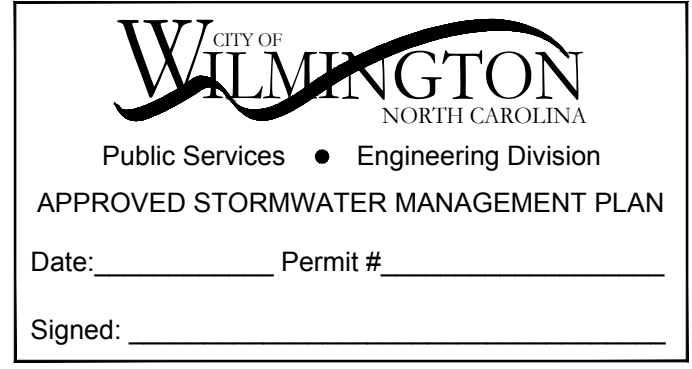


SITE INVENTORY DATA	
1. PREPARER OF THE PLAN:	PARAMOUNTE ENGINEERING 122 CINEMA DRIVE WILMINGTON, NC 28403
2. APPLICANT NAME:	JASPER BOULEVARD, LLC 1511 SAVANNAH HIGHWAY CHARLESTON, SC 29407
3. SITE ADDRESS:	BAKER COLLECTION 4910 NEW CENTRE DRIVE WILMINGTON, NC 28403
4. PROPERTY OWNER:	JASPER BOULEVARD, LLC 1511 SAVANNAH HIGHWAY CHARLESTON, SC 29407
5. DEVELOPER:	SAME AS OWNER
6. PROPERTY BOUNDARY:	SEE PLAN
7. ZONING:	RB- REGIONAL BUSINESS
8. ADJACENT PROPERTY INFORMATION (OWNER AND ZONING):	SEE PLAN
9. VICINITY MAP:	SEE MAP ABOVE
10. TOPOGRAPHY:	SEE PLAN
11. 100 YEAR FLOOD PLAIN BOUNDARY:	SITE IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN
12. LOCATION OF EXISTING DITCHES, CREEKS, AND STREAMS:	N/A
13. SOILS:	MURVILLE FINE SAND (Mu) LEON SAND (Le) (SEE SOILS MAP ABOVE)
14. CAMA AEC & ASSOCIATED SETBACKS:	N/A
15. CAMA LAND CLASSIFICATION:	URBAN
16. CONSERVATION RESOURCES:	N/A
17. LOCAL, STATE, OR FEDERAL HISTORIC OR ARCHAEOLOGICAL SITE:	N/A
18. LOCATION OF CEMETERIES, BURIAL SITES, OR BURIAL GROUNDS:	N/A
19. SQUARE FOOTAGE OF FORESTED AREA, HABITAT, AND DOMINANT SPECIES:	N/A
20. SECTION 404 WETLANDS AND SECTION 10 WATERS:	N/A
21. PROTECTED SPECIES OR HABITAT:	N/A
22. THOROUGHFARES, BIKE ROUTES, SIDEWALKS, TRANSIT FACILITIES (EXISTING OR PROPOSED):	SEE PLAN & VICINITY MAP

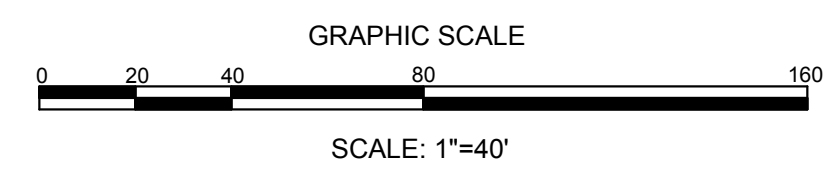


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 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

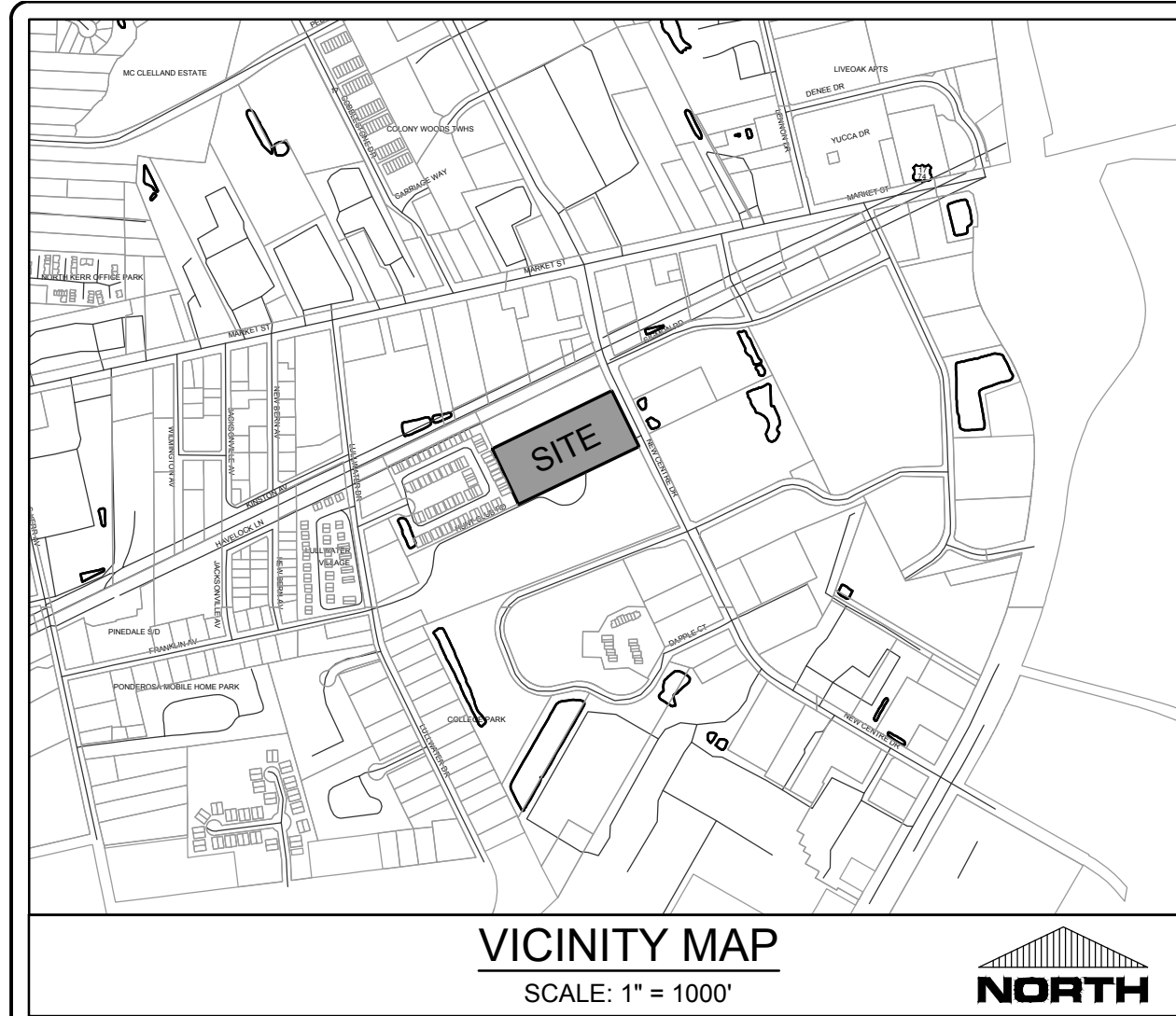


**Approved Construction Plan**  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_  
 Signed: \_\_\_\_\_



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

<b>REVISIONS:</b> _____ _____ _____	
<b>CLIENT INFORMATION:</b> <b>MONTEITH CONSTRUCTION</b> 208 PRINCESS STREET WILMINGTON, NC 28401	
<b>PARAMOUNTE ENGINEERING, INC.</b> 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6766 (F) NC License # C-2846	
<b>SITE INVENTORY PLAN</b> <b>BAKER LUXURY COLLECTION</b> 4910 NEW CENTRE DRIVE WILMINGTON, NC 28403	
<b>PROJECT STATUS:</b> CONCEPTUAL LAYOUT: _____ FINAL DESIGN LAYOUT: _____ RELEASED FOR CONSTRUCTION: _____	<b>DRAWING INFORMATION:</b> DATE: 10/25/19 SCALE: 1"=40' DRAWN BY: AEC CHECKED: RRE
<b>C-2.0</b> PEI JOB#: 19271.PE	



VICINITY MAP  
SCALE: 1" = 1000'

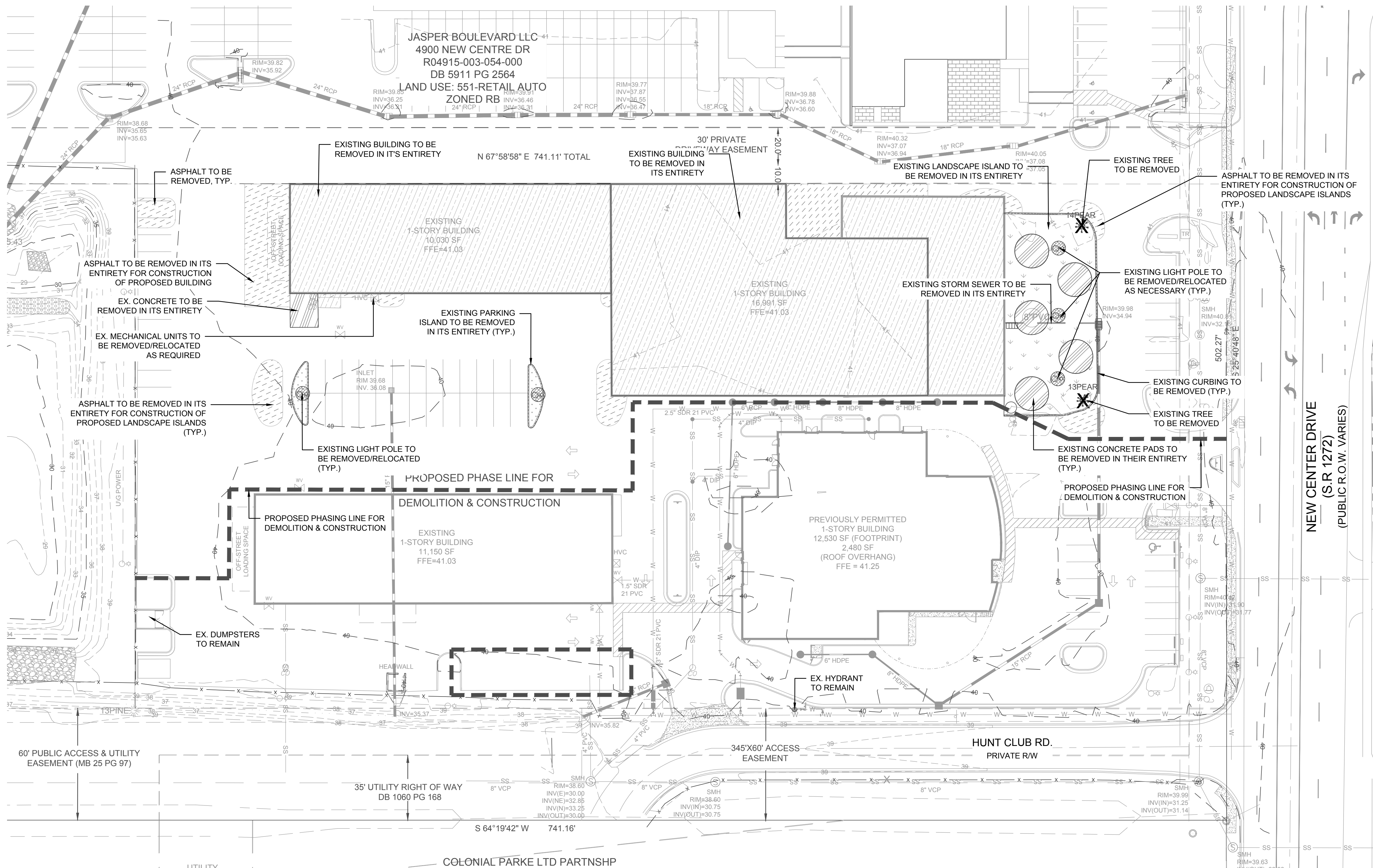
**DEMOLITION NOTES:**

- 1.) CONTRACTOR SHALL REFER TO SHEET C-1.0 GENERAL NOTES FOR DEMOLITION NOTES.
- 2.) CONTRACTOR SHALL MAKE NO PAVEMENT CUTS INTO NEW CENTER DRIVE WITHOUT THE WRITTEN PERMISSION FROM THE CITY OF WILMINGTON OR NCDOT.
- 3.) ALL UTILITIES SHALL BE ABANDONED AND/OR DEMOLISHED AND CAPPED PROPERLY IN ACCORDANCE WITH THE UTILITY OWNERS RULES AND REGULATIONS.
- 4.) CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY OWNER/PROVIDER FOR DEMOLITION.

**EX. VEGETATION NOTES:**

- 1.) CONTRACTOR SHALL REMOVE SHRUBS AS NECESSARY ALONG THE BUILDINGS FOR CONSTRUCTION AS LONG AS THE SAME QUANTITY AND SPECIES ARE REPLACED WHEN CONSTRUCTION IS COMPLETE.

SYMBOLS LEGEND	
	EXISTING CONCRETE TO BE REMOVED
	EXISTING ASPHALT TO BE REMOVED
	EXISTING UTILITY LINE TO BE REMOVED
	EXISTING STORM STRUCTURE TO BE REMOVED
	EXISTING SIGN/LIGHT/UTILITY POLE TO BE REMOVED
	EXISTING FENCE TO BE REMOVED
	TREE PROTECTION FENCING
	EXISTING TREE/SHRUBS TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	EXISTING CURBING TO BE REMOVED
	EXISTING LANDSCAPING TO BE REMOVED



NEW CENTER DRIVE  
(S.R. 1272)  
(PUBLIC R.O.W. VARIES)

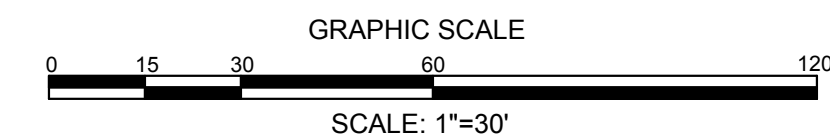
HUNT CLUB RD.  
PRIVATE R/W

NCDENR PWSS WATER PERMIT #: \_\_\_\_\_  
 WATER CAPACITY: \_\_\_\_\_ GPD  
 DWQ SEWER PERMIT #: \_\_\_\_\_  
 SEWER CAPACITY: \_\_\_\_\_ GPD  
 SEWER SHED # AND PLANT: \_\_\_\_\_  
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



**Approved Construction Plan**  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_  
 Signed: \_\_\_\_\_



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

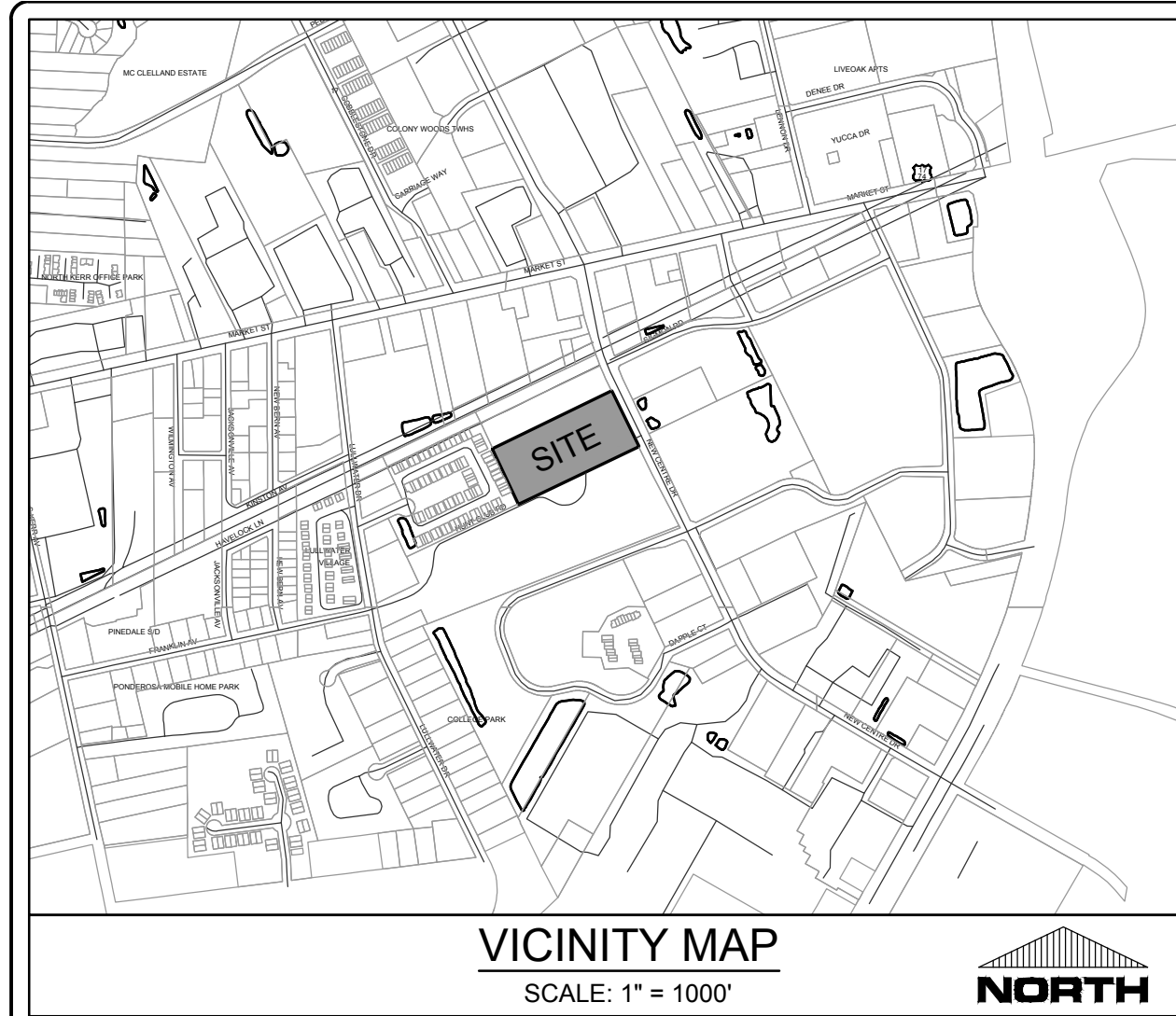
CLIENT INFORMATION:  
**PARAMOUNTE**  
 ENGINEERING & PLANNING  
 122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (O) (910) 791-6766 (F)  
 N.C. License #: C-2846

**DEMOLITION PLAN**  
**BAKER LUXURY COLLECTION**  
 4910 NEW CENTRE DRIVE  
 WILMINGTON, NC 28403

PROJECT STATUS:  
 CONCEPTUAL LAYOUT: \_\_\_\_\_  
 FINAL DESIGN LAYOUT: \_\_\_\_\_  
 RELEASED FOR CONSTRUCTION: \_\_\_\_\_  
 DRAWING INFORMATION:  
 DATE: 10/26/19  
 SCALE: 1"=30'  
 DRAWN BY: ALE  
 CHECKED BY: RRE

Professional Seal  
 redacted on electronic  
 copy per City of  
 Wilmington Policy

**C-2.1**  
 PEI JOB#: 19271.PE



**SITE INFORMATION**

**OWNER INFORMATION:** JASPER BOULEVARD, LLC  
1511 SAVANNAH HIGHWAY  
CHARLESTON, SC 29407

**PROJECT NAME:** BAKER LUXURY COLLECTION  
**PROJECT ADDRESS:** 4910 NEW CENTRE DRIVE  
WILMINGTON, NC 28403

**TAX PARCEL IDENTIFICATION #:** R04915-003-003-001  
**RECORDED DEED BOOK:** BK 5911, PG 2564  
**CURRENT ZONING:** RB-REGIONAL BUSINESS  
**EXISTING USE:** 551 - RETAIL AUTO  
**PROPOSED USE:** 551 - RETAIL AUTO  
**TOTAL SITE AREA:** 5.97 +/- ACRES OR 259,874 SF  
**FLOOD INFORMATION:** THIS PARCEL IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3720313700 J, DATED APRIL 3, 2006

**CAMA LAND USE CLASSIFICATION:** URBAN  
**SPECIAL HIGHWAY DISTRICT:** N/A

BUILDING SETBACKS RB:	REQUIRED	BLDG A PROVIDED	BLDG B PROVIDED
FRONT	25'	207'	454'
INTERIOR SIDE	0'	14'	17'
CORNER SIDE	25'	201'	220'
REAR	15'	477'	221'

BUILDING AREA EX. BLDG'S	50,701 SF	
BUILDING AREA TO BE REMOVED	27,021 SF	
BUILDING AREA PROP. BLDG.	7,027 SF	
TOTAL BUILDING AREA	30,707 SF	
BUILDING LOT COVERAGE	40.0% MAX.	11.8% ACTUAL
BUILDING HEIGHT	30'	
CONSTRUCTION TYPE	VB	
BUILDING SPRINKLER SYSTEM	NS	

IMPERVIOUS INFORMATION	AMOUNT	PERCENT
TOTAL EXISTING IMPERVIOUS	149,830 SF (3.44 AC)	
IMPERVIOUS TO BE REMOVED	33,541 SF (0.77 AC)	
IMPERVIOUS TO REMAIN	116,289 SF (2.67 AC)	
PROPOSED IMPERVIOUS		
ASPHALT PARKING LOT	22,960 SF (0.53 AC)	
CONCRETE	1,810 SF (0.04 AC)	
BUILDINGS	7,027 SF (0.16 AC)	
FUTURE	1,744 SF (0.04 AC)	
TOTAL	33,541 SF (0.77 AC)	

EX. IMPERVIOUS TO REMAIN + PROPOSED IMPERVIOUS: 116,289 SF + 33,541 SF = 149,830 SF (3.44 AC)

PROPOSED PERCENT IMPERVIOUS = 149,830 / 259,874 SF = 57.7%

**SITE PARKING**

**AUTOMOTIVE DEALER**

MINIMUM PARKING REQUIRED: (1 PER 500 SF GFA)	14 SPACES
MAXIMUM PARKING ALLOWABLE: *USE 150% OF MIN. PARKING REQUIRED	21 SPACES
TOTAL PARKING PROVIDED: 15 CUSTOMER & EMPLOYEE SPACES, 45 PRODUCT DISPLAY & SERVICE SPACES	60 SPACES
HANDICAP PARKING REQUIRED: 1 SPACES (CUSTOMER/EMPLOYEE ONLY)	
HANDICAP PARKING PROVIDED: 2 SPACES	
BICYCLE PARKING REQUIRED: 5 SPACES	
BICYCLE PARKING PROVIDED: 5 SPACES	

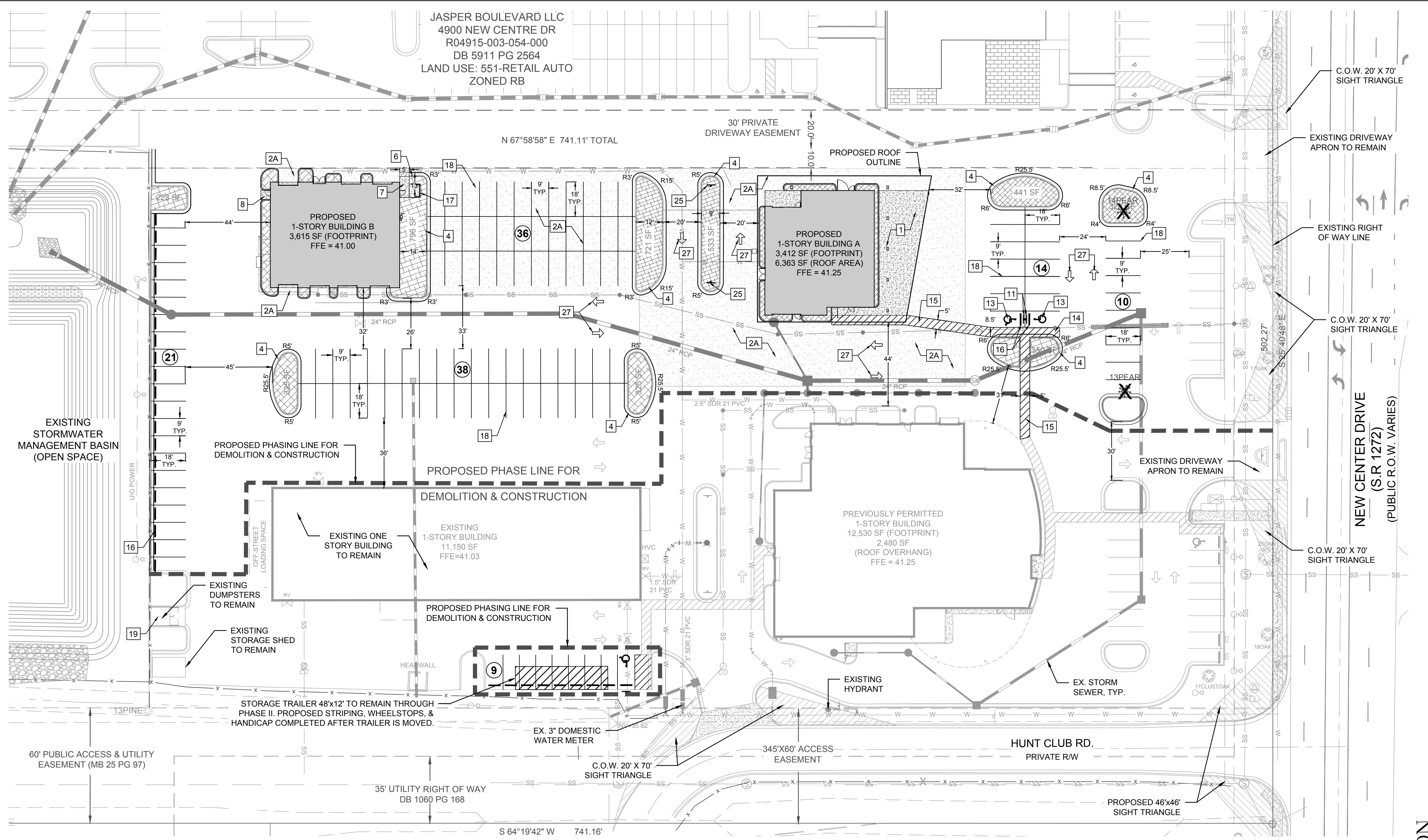
- GENERAL NOTES**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
  - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
  - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
  - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
  - NO EXISTING TREES ON SITE.
  - SEE C-2.2 PLANTING PLAN FOR LANDSCAPING INFORMATION.
  - THERE ARE NO PROPOSED WASTE FACILITIES ON SITE. EXISTING DUMPSTERS TO REMAIN.
  - THERE IS NO PROPOSED STREET LIGHTING FOR THIS SITE.
  - ALL PROPOSED VEGETATION WITHIN C.O.W. SIGHT TRIANGLE SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' - 10' [SEC. 18-566 CoW LDC].

**WATER AND SEWER CAPACITY**

20 EMPLOYEES @ 25 GAL/EMPLOYEE/DAY = 500 GPD  
12 VISITORS @ 25 GAL/EMPLOYEE/DAY = 300 GPD  
TOTAL: 800 GPD

**TRASH REMOVAL**

TRASH WILL BE HANDLED BY EXISTING DUMPSTER SERVICE LOCATED AT THE REAR OF THE SITE.



**KEY NOTES:**

- |  |  |   |  |
|--|--|---|--|
| <p>1 CONCRETE PAVING: REFER TO DETAIL C-5.0</p> <p>2A LIGHT DUTY ASPHALT PAVING: REFER TO DETAIL C-5.0</p> <p>2B PERVIOUS CONCRETE: REFER TO DETAIL C-5.0</p> <p>3 ASPHALT OVERLAY AREA: REFER TO DETAIL C-5.0</p> <p>3A ASPHALT SEAL COAT: REFER TO TECHNICAL SPECIFICATIONS</p> <p>4 STANDARD 24" CURB &amp; GUTTER: REFER TO DETAIL C-5.0</p> <p>5 HANDICAP RAMP (SIDEWALK): SEE DETAIL C-5.0</p> <p>6 TRANSITION CURB DETAIL: SEE DETAIL C-5.0</p> <p>7 CONCRETE SIDEWALK: REFER TO DETAIL C-5.0</p> <p>8 CONCRETE DOOR LANDING: SEE ARCHITECTURAL</p> | <p>9 EXPOSED FACE CONCRETE SIDEWALK TO ASPHALT DETAIL: SEE DETAIL C-5.0</p> <p>10 STEEL BOLLARD: REFER TO ARCHITECTURAL DRAWINGS</p> <p>11 HANDICAP PARKING SIGN: REFER TO DETAIL C-5.0</p> <p>12 DETECTIBLE WARNING MAT: REFER TO DETAIL C-5.0</p> <p>13 HANDICAP PARKING SYMBOL: REFER TO DETAIL C-5.0</p> <p>14 HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN.</p> <p>15 DESIGNATED ACCESSIBLE ROUTE: PROVIDE STRIPING AND SLOPE 5% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE.</p> <p>16 CONCRETE WHEEL STOP: 8" x 4" x 6"-0" LONG CONCRETE. ANCHOR TO PAVING WITH (2) 1'-6" LONG #4 REBAR. REFER TO DETAIL C-5.0</p> | <p>17 BICYCLE RACK (5 BIKE MIN. PER RACK): CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL</p> <p>18 STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS).</p> <p>19 EXISTING DUMPSTERS &amp; ENCLOSURE:</p> <p>20 TREE PROTECTION FENCING: REFER TO DETAIL C-5.2</p> <p>21 SIGNAGE (RIGHT OUT ONLY): PER MUTCD STANDARDS AND SPECIFICATIONS</p> <p>22 PARKING LOT SITE LIGHTING: BY OTHERS</p> <p>23 SIGNAGE: 'VEHICLE CHARGING STATIONS' CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL</p> <p>24 SIGNAGE: 'SERVICE' DIRECTIONAL SIGN CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL</p> | <p>25 SIGNAGE (KEEP RIGHT R4-7): PER MUTCD STANDARDS AND SPECIFICATIONS</p> <p>26 SIGNAGE (ONE-WAY DO NOT ENTER): PER MUTCD STANDARDS AND SPECIFICATIONS</p> <p>27 DIRECTIONAL ARROW MARKINGS: PROVIDE DIRECTIONAL ARROW MARKINGS AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS).</p> |
|--|--|---|--|

NCDENR PWSS WATER PERMIT #: \_\_\_\_\_  
WATER CAPACITY: \_\_\_\_\_ GPD  
DWQ SEWER PERMIT #: \_\_\_\_\_  
SEWER CAPACITY: \_\_\_\_\_ GPD  
SEWER SHED # AND PLANT: \_\_\_\_\_  
SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**Approved Construction Plan**

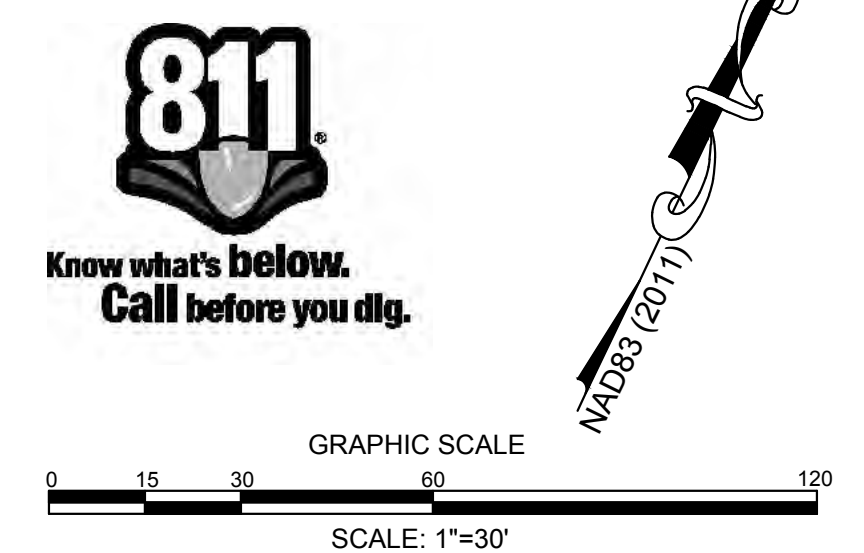
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning: \_\_\_\_\_  
Traffic: \_\_\_\_\_  
Fire: \_\_\_\_\_

Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Signed: \_\_\_\_\_

**LEGEND:**

	PROPOSED BUILDING
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED LANDSCAPE ISLAND
(30)	PARKING SPACE COUNT
X	TREE TO BE REMOVED



**REVISIONS:**  
1) RESPONSE TO TRC COMMENTS

**CLIENT INFORMATION:**  
**PARAMOUNT ENGINEERING, INC.**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6766 (F)  
NC License # C-2846

**SITE PLAN**

**BAKER LUXURY COLLECTION**  
4910 NEW CENTRE DRIVE  
WILMINGTON, NC 28403

**PROJECT STATUS:**  
CONCEPTUAL LAYOUT: \_\_\_\_\_  
FINAL DESIGN LAYOUT: \_\_\_\_\_  
RELEASED FOR CONSTRUCTION: \_\_\_\_\_

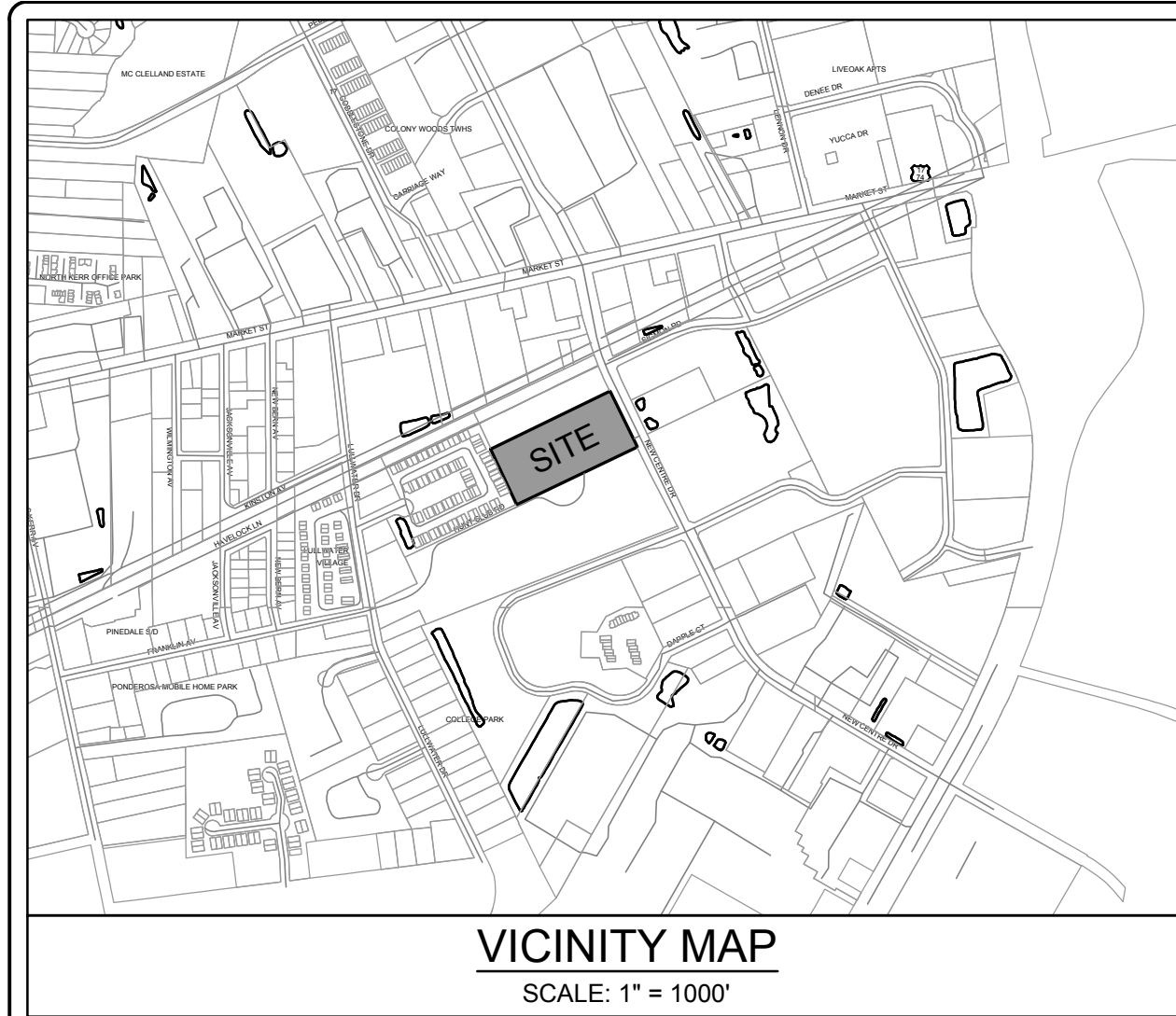
**DRAWING INFORMATION:**  
DATE: 10/29/19  
SCALE: 1" = 30'  
DRAWN BY: ALE  
CHECKED: RRE

Professional Seal redacted on electronic copy per City of Wilmington Policy

**C-2.2**

PEI JOB#: 19271.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



- GENERAL NOTES:**
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL STATE OF NC, CITY OF WILMINGTON, AND NEW HANOVER COUNTY STANDARDS AND SPECIFICATIONS.
  - THE CONTRACTOR SHALL PLACE INLET PROTECTION AROUND ALL STORM DRAIN INLETS TO PROTECT THE SYSTEM FROM COLLECTING SEDIMENTATION DURING CONSTRUCTION. INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE ROADS ARE PAVED.
  - CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE WITHIN ASPHALT OVERLAY AND NEW ASPHALT AREAS TO MATCH PROPOSED GRADES.
  - ALL PROPOSED SPOT ELEVATIONS SHOWN ARE PROPOSED EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
  - CONNECT ROOF DRAINS AS SHOWN. THERE IS SOME ROOF DRAINS ON EXISTING BUILDINGS AND SOME PARKING THAT DOES NOT CARRY FLOW TOWARDS THE POND, BUT OFFSITE TOWARDS HUNT CLUB RD. DITCH. IF THERE ARE ANY DRAINAGE QUESTIONS, PLEASE NOTIFY OWNER AND ENGINEER PRIOR TO MAKING CONNECTIONS.
  - ALL SIDEWALK CROSS SLOPES HAVE BEEN GRADED TO MEET ADA REGULATIONS. CONTRACTOR SHALL CONFIRM GRADES BEFORE PLACING PAVEMENT OR SIDEWALKS AND REPORT ANY DISCREPANCIES TO OWNER AND/OR ENGINEER.
  - THE CONTRACTOR SHALL USE EITHER RCP (CL. III or CL. IV) OR ADS N-12 WT PIPE FOR THE STORM DRAINAGE SYSTEM UNLESS NOTED OTHERWISE. IF THE CONTRACTOR CHOOSES TO USE ADS N-12 WT STORM PIPE, IT SHALL BE INSTALLED TO MANUFACTURER SPECIFICATIONS. IN ADDITION, THE CONTRACTOR SHALL BE SURE TO PROVIDE CONCRETE COLLARS AROUND EACH F. E. S. TO PREVENT FLOATAION IF HDPE PIPE IS CHOSEN.
  - CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE IF A GEOTECHNICAL ENGINEERING REPORT WAS COMPLETED FOR THE SITE.
  - CONTRACTOR SHALL STAKE SILT FENCE ALONG LIMITS OF DISTURBANCE LINE. THE SILT FENCE LINETYPE IS OFFSET ON THE DRAWING FOR CLARITY.

- ASPHALT AREA NOTE:**
- SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

- BUILDING PAD NOTE:**
- SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH STRUCTURAL DRAWINGS.

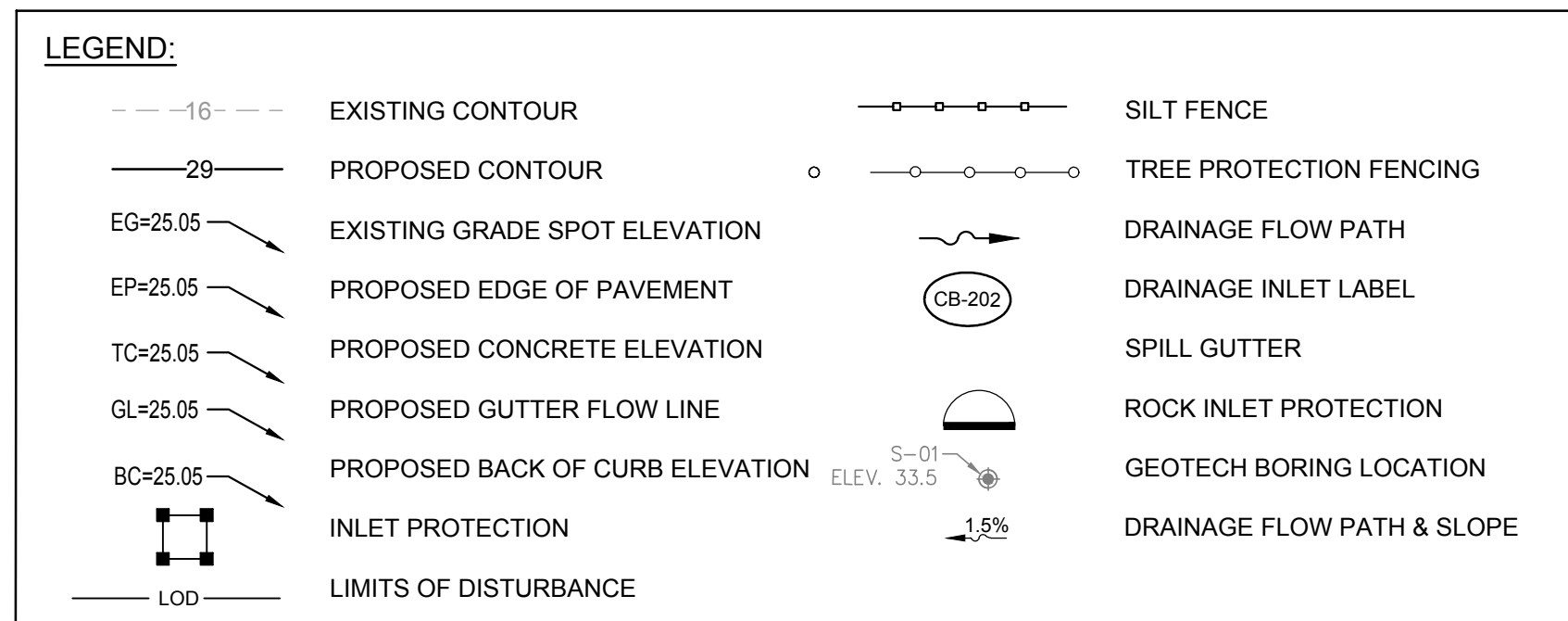
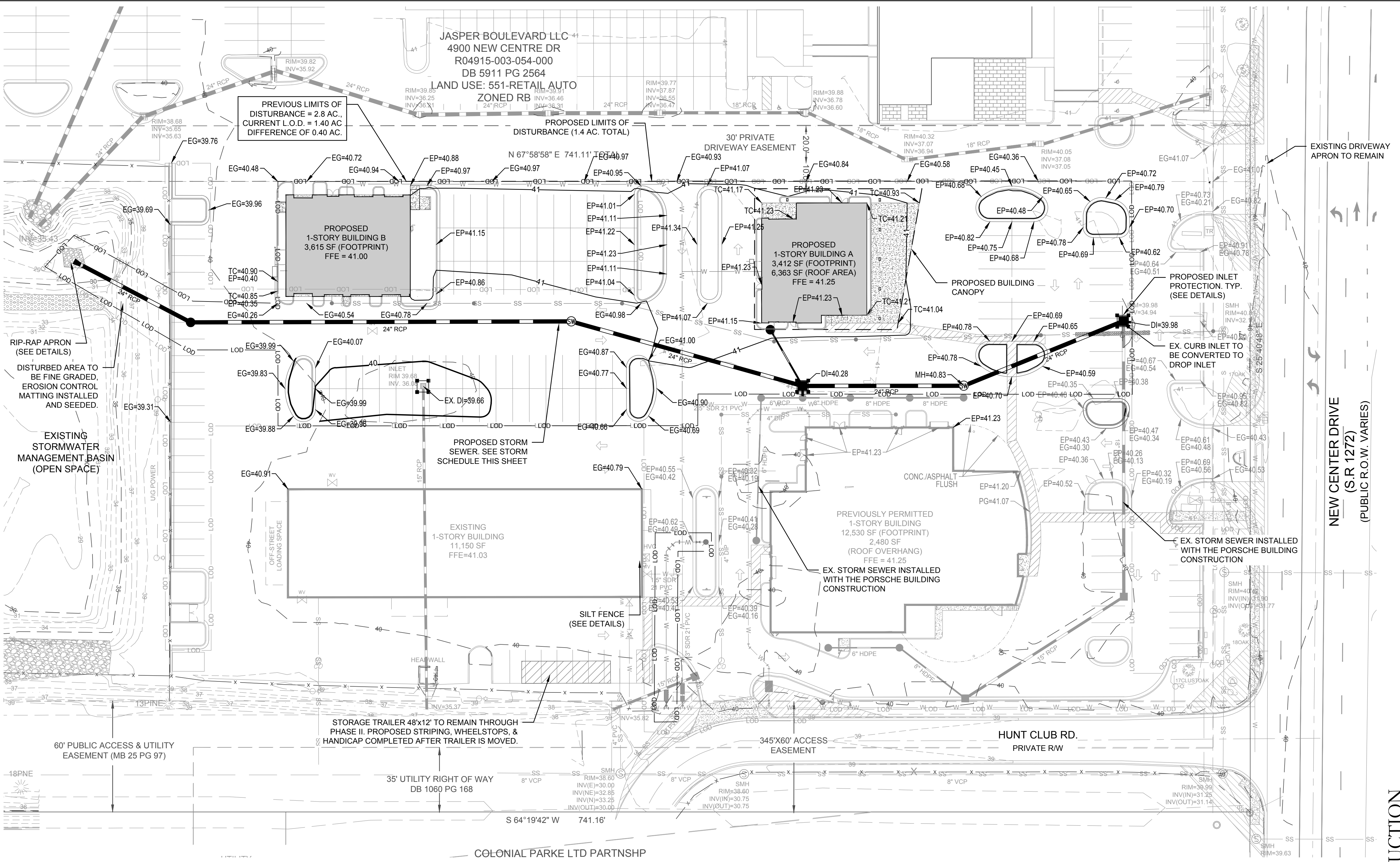
- STORMWATER NOTES:**
- A PORTION OF THIS PROJECT, PORSCHE, DRAINS TO THE EXISTING ON-SITE STORMWATER WET DETENTION BASIN, AND THE EXISTING BMW SITE DRAINS TO THIS POND AS WELL.
  - CONTRACTOR SHALL MAINTAIN HUNT CLUB ROAD DITCH SECTION AND POND OUTFALL TO PROPERTY LINE. DITCH MUST BE FREE OF ALL DEBRIS AND ACCUMULATED SEDIMENT WHILE PROVIDING POSITIVE DRAINAGE FROM EXISTING 15" RCP TO PROPERTY CORNER.

**NOTATION:**

CI	=	CURB INLET
DI	=	DROP INLET
CO	=	CLEANOUT
DDI	=	DOUBLE DROP INLET
MH	=	STORM DRAIN MANHOLE
RD	=	ROOF DRAIN CLEANOUT
FFE	=	FINISHED FLOOR ELEVATION
BPE	=	BUILDING PAD ELEVATION

**STORM SCHEDULE:**

Upstream Node	Downstream Node	Diameter (in)	Upstream Pipe Invert (ft)	Downstream Pipe Invert (ft)	Pipe Length (ft)	Slope (%)	Upstream Rim Elev (ft)	Downstream Rim Elev (ft)	Pipe Material
RD 109	RD 100	6	36.17	37.66	33	0.60	40.00	40.34	HDPE
RD 100	CI 107	6	37.05	37.55	45	0.60	40.34	40.54	HDPE
CI 107	DI 100	12	36.70	35.02	102	0.33	39.00	40.01	RCP III
DI 100	DI 102	12	35.05	34.54	143	0.36	38.64	39.50	RCP III
DI 102	MH 104	24	34.94	34.48	93	0.50	39.98	40.28	RCP III
MH 104	DI 103	24	34.48	34.04	87	0.50	40.28	39.95	RCP III
DI 103	MH 102	24	34.04	33.39	130	0.50	39.95	39.95	RCP III
MH 102	MH 101	24	33.39	29.39	206	1.95	39.95	39.90	RCP III
MH 101	FES 100	24	29.39	29.00	67	0.58	39.90	39.13	RCP III
RD 113	RD 112	6	34.54	34.30	30	0.50	40.00	39.90	HDPE
RD 112	RD 111	6	34.30	34.33	33	0.50	39.90	39.95	HDPE
RD 111	RD 110	6	34.20	34.07	26	0.50	39.95	39.94	HDPE
RD 110	DI 103	12	34.07	34.04	6	0.50	39.94	39.95	HDPE
RD 109	RD 111	6	34.57	34.49	77	0.50	39.97	39.90	HDPE
RD 111	RD 110	6	34.49	34.07	22	0.50	39.94	39.94	RCP III
RD 116	DI 103	8	37.18	37.00	35	0.50	41.13	39.95	HDPE

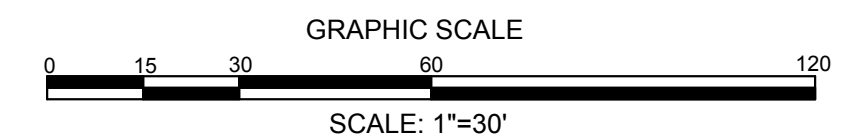


NCDENR PWSS WATER PERMIT #: \_\_\_\_\_  
 WATER CAPACITY: \_\_\_\_\_ GPD  
 DWQ SEWER PERMIT #: \_\_\_\_\_  
 SEWER CAPACITY: \_\_\_\_\_ GPD  
 SEWER SHED # AND PLANT: \_\_\_\_\_  
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

**Approved Construction Plan**

City of WILMINGTON, NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN

Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Planning: \_\_\_\_\_  
 Traffic: \_\_\_\_\_  
 Fire: \_\_\_\_\_  
 Signed: \_\_\_\_\_ Permit #: \_\_\_\_\_



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

**REVISIONS:**

**CLIENT INFORMATION:**  
**PARAMOUNT ENGINEERING INC.**  
 122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (C) (910) 791-6700 (F)  
 NC License #: C-2846

**GRADING-DRAINAGE-EC PLAN**

**BAKER LUXURY COLLECTION**  
 4910 NEW CENTRE DRIVE  
 WILMINGTON, NC 28403

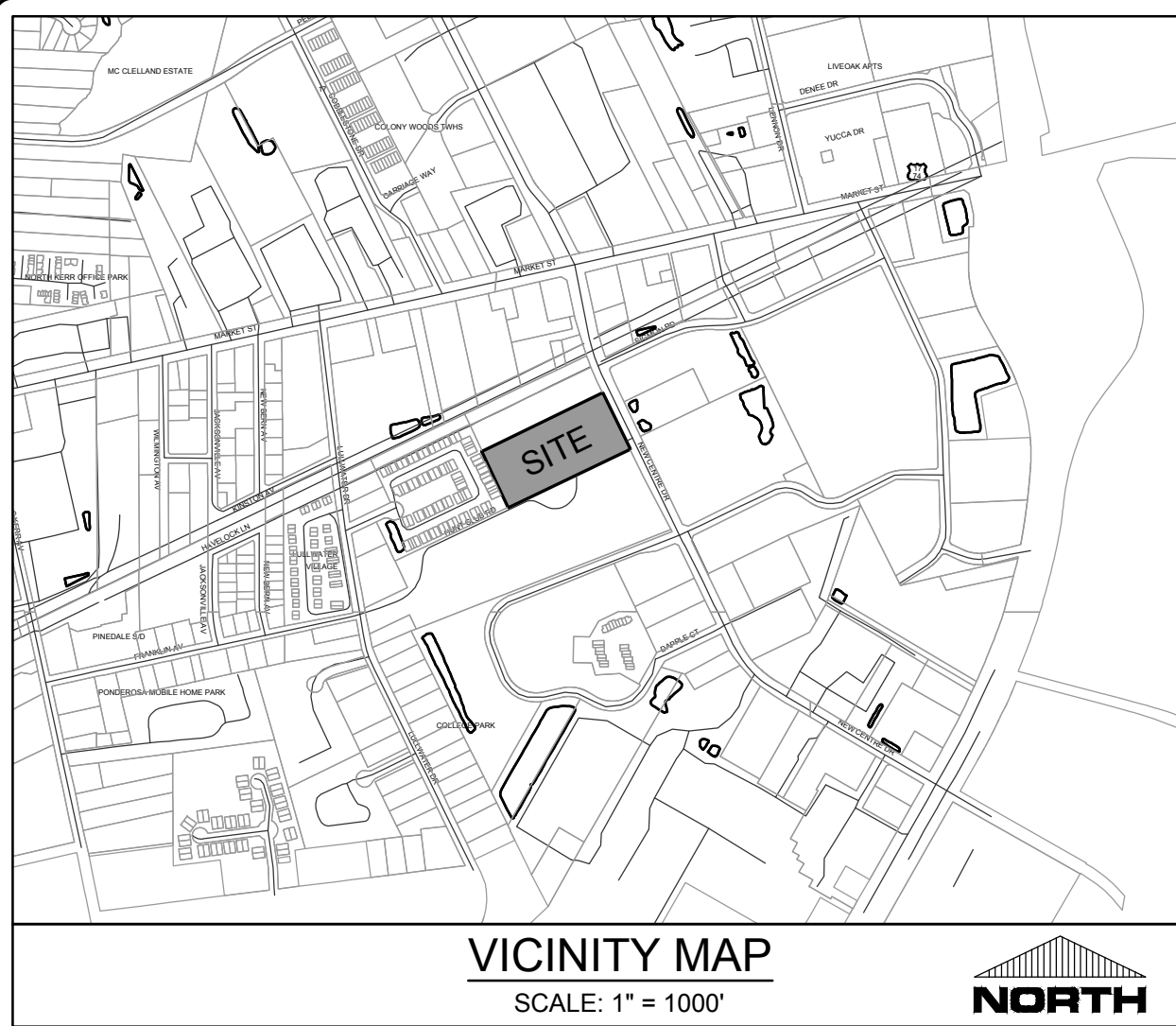
**PROJECT STATUS:**  
 PRELIMINARY LAYOUT:  
 FINAL DESIGN FOR CONSTRUCTION:  
 RELEASED FOR CONSTRUCTION:

**DRAWING INFORMATION:**  
 DATE: 10/26/19  
 SCALE: 1"=30'  
 DRAWN: ALE  
 CHECKED: BRE

Professional Seal redacted on electronic copy per City of Wilmington Policy

**C-3.0**

PEI JOB#: 19271.PE



VICINITY MAP  
SCALE: 1" = 1000'

**SITE DATA TABULATION**

**OWNER:** JASPER BOULEVARD, LLC  
5160 SAVANNAH HIGHWAY  
CHARLESTON, SC 29407

**PROJECT ADDRESS:** 4910 NEW CENTRE DRIVE  
WILMINGTON, NC 28403

**TAX PARCEL IDENTIFICATION #:** R04815-003-003-001

**RECORDED DEED BOOK:** BK 5911, PG 2564

**TOTAL SITE AREA:** 5.92 +/- ACRES (257,875 SF)

**CURRENT ZONING:** RB - REGIONAL BUSINESS

**CAMA LAND USE CLASSIFICATION:** URBAN

**EXISTING LAND USE:** 551 - RETAIL AUTO

**PROPOSED LAND USE:** 551 - RETAIL AUTO

**FLOOD INFORMATION:** THIS PARCEL IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3720313700 J, DATED APRIL 3, 2006

**SPECIAL HIGHWAY DISTRICT:** N/A

**UTILITY INFORMATION**  
CONTRACTOR SHALL INSTALL WATER AND SEWER SERVICES IN ACCORDANCE WITH CFPUA STANDARD DETAILS AND SPECIFICATION.

**SANITARY SEWER**  
THIS PROJECT IS INSTALLING A 6-INCH GRAVITY MAIN FROM NEW CENTRE DRIVE TO THE SERVICE CONNECTION OF THE FRONT BUILDING AND THEN A 6-INCH SERVICE FROM THAT POINT TO THE SERVICE CONNECTION OF THE REAR BUILDING. ALL SANITARY SEWER ALLOCATION IS PROVIDED BY THE CFPUA.

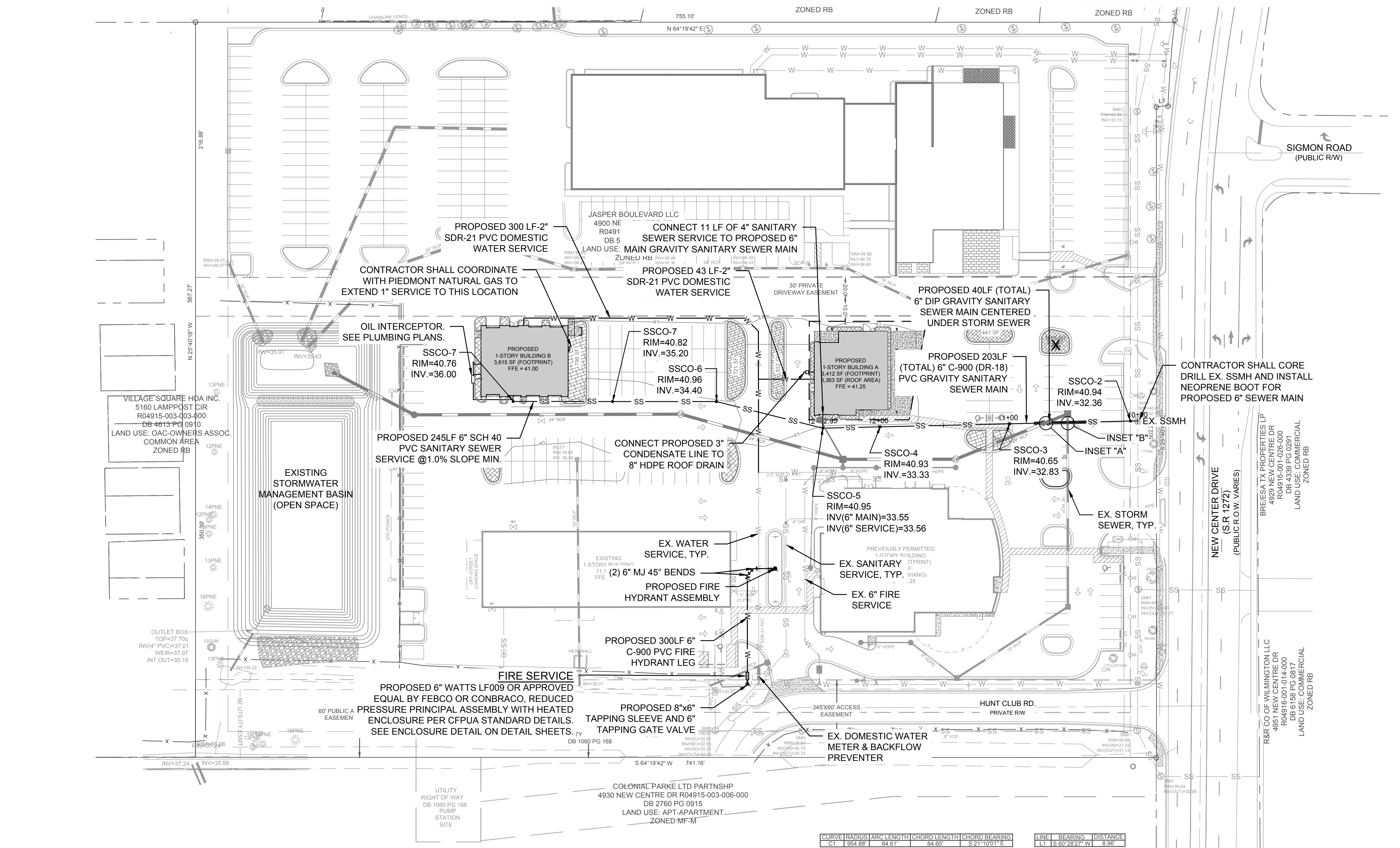
**WATER**  
THIS PROJECT WILL CONNECT TO EXISTING WATER SERVICE ON-SITE AND UTILIZE EXISTING 3-INCH METER. THIS PROJECT IS ALSO CONSTRUCTING A 6-INCH HYDRANT LEG FOR A PROPOSED ON-SITE FIRE HYDRANT. DOMESTIC AND FIRE WATER ALLOCATION PROVIDED BY CFPUA. THERE ARE NO SPRINKLER SYSTEMS PROPOSED FOR EITHER BUILDING.

**NATURAL GAS**  
THERE IS AN EXISTING 1-1/4" PLASTIC GAS SERVICE LOCATED ONSITE AND THERE IS CURRENTLY A WORK ORDER TO RELOCATE AROUND THE BUILDING. GAS IS PROVIDED BY PIEDMONT NATURAL GAS.

- UTILITY NOTES: (NCAC 15A.02T.0305 / T15A.18C.0906)**
1. WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
  2. WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
  3. CROSSING A WATER MAIN UNDER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
  4. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
  5. WHERE VERTICAL CLEARANCE IS LESS THAN 18" BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.

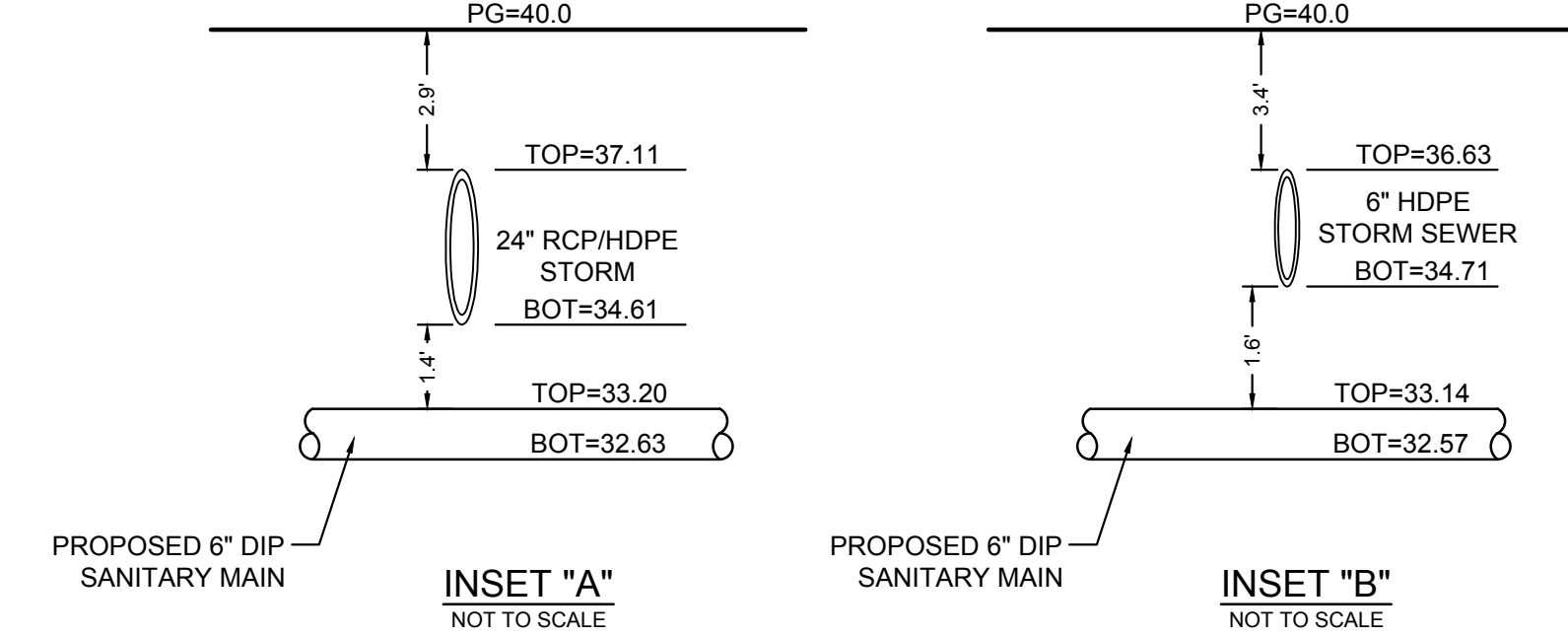
**WATER AND SEWER CAPACITY**  
20 EMPLOYEES @ 25 GAL/EMPLOYEE/DAY = 500 GPD  
12 VISITORS @ 25 GAL/EMPLOYEE/DAY = 300 GPD  
TOTAL: 800 GPD

- CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD SEWER NOTES:**
1. SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
  2. WATER AND SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT R/W LINE. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR, OR MUST ORIGINATE IN END OF LINE MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
  3. ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF CLASS 50, DIP, WITH PROTECTO 401 CERAMIC EPOXY LINING.
  4. MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
  5. NO FLEXIBLE COUPLINGS SHALL BE USED.
  6. ALL STAINLESS STEEL FASTENERS SHALL BE 316.
  7. CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS. WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNER.



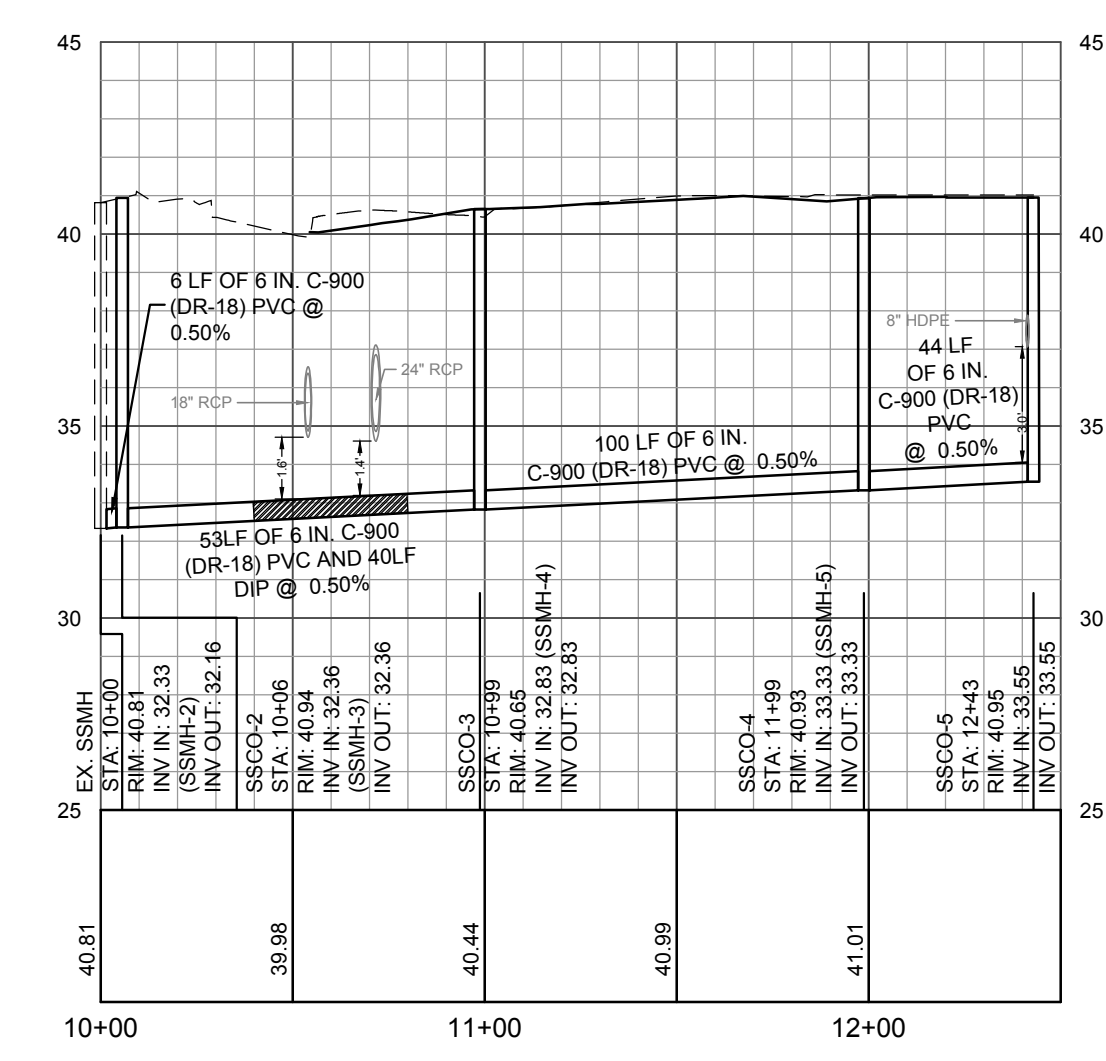
**PLAN VIEW**  
HORIZONTAL SCALE: 1"=50'

**LEGEND:**  
SSCO = SANITARY SEWER CLEANOUT  
EX. SSMH = EXISTING SANITARY SEWER MANHOLE



**FIRE & LIFE SAFETY NOTES:**

1. NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS WITHIN ANY DEVELOPMENT AND PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO SITE.
2. HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB AND INSTALLED PER CITY OF WILMINGTON ORDINANCE AND CFPUA STANDARDS.
3. CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION. THIS CAN BE SATISFIED BY INSTALLING THE BASE COURSE OF THE PROPOSED PAVEMENT SECTION.
4. A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
5. UNDERGROUND FIRE LINE & PRIVATE WATER MAINS MUST BE PERMITTED & INSPECTED BY CITY OF WILMINGTON FIRE & LIFE SAFETY SERVICES FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING.
6. CONSTRUCTION TYPE - IIB CAR DEALERSHIP, BUILDINGS WILL NOT HAVE SPRINKLERS.
7. ANY FDC MUST BE WITHIN 150' OF A FIRE HYDRANT & WITHIN 40' OF FIRE APPARATUS PLACEMENT.
8. LANDSCAPING OR PARKING CAN NOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT (3') CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC.
9. ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
10. CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.



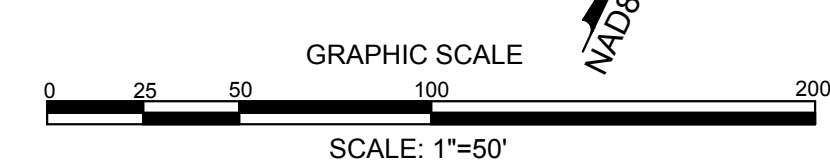
**PRIVATE GRAVITY MAIN - PROFILE VIEW**  
HORIZONTAL SCALE: 1"=50'  
VERTICAL SCALE: 1"=5'

NCDENR PWSS WATER PERMIT #: \_\_\_\_\_  
WATER CAPACITY: \_\_\_\_\_ GPD  
DWQ SEWER PERMIT #: \_\_\_\_\_  
SEWER CAPACITY: \_\_\_\_\_ GPD  
SEWER SHED # AND PLANT: \_\_\_\_\_  
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Signed: \_\_\_\_\_

**Approved Construction Plan**  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

**REVISIONS:**

**CLIENT INFORMATION:**  
MONTEITH CONSTRUCTION  
208 PRINCESS STREET  
WILMINGTON, NC 28401

**PARAMOUNT ENGINEERING INC.**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846

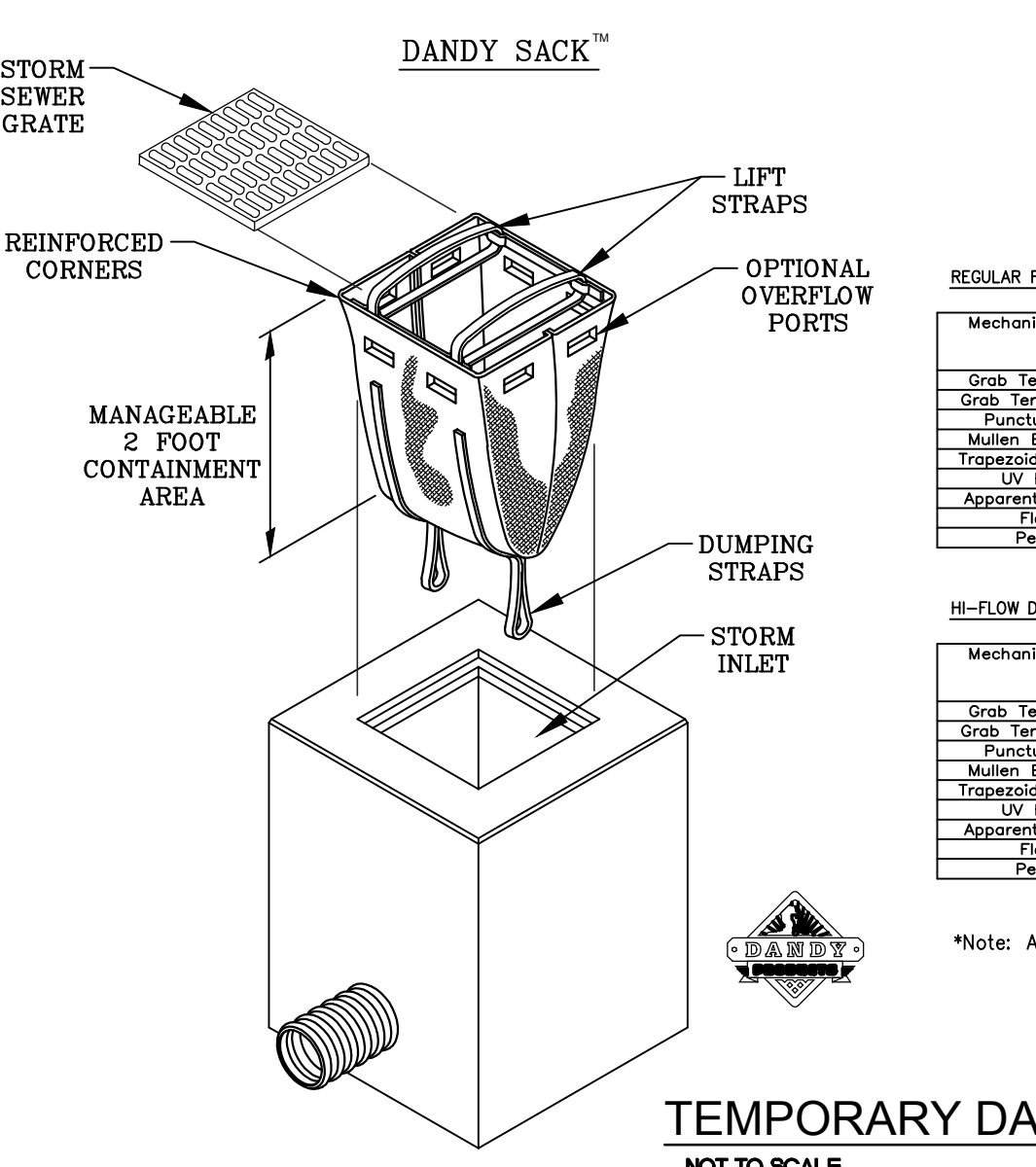
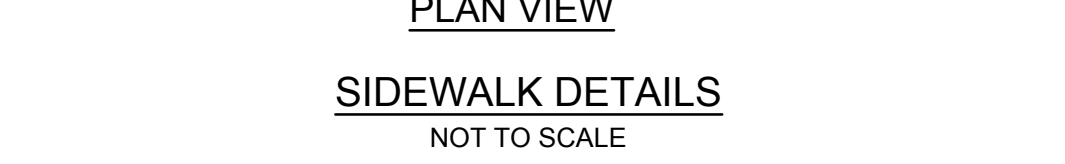
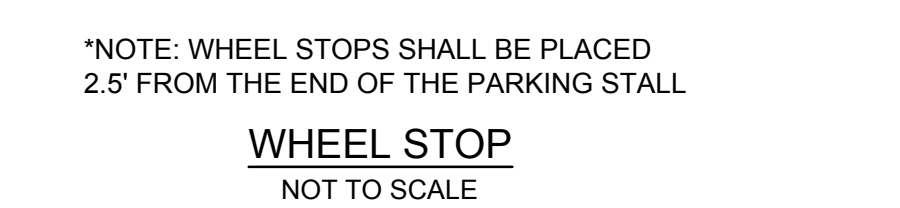
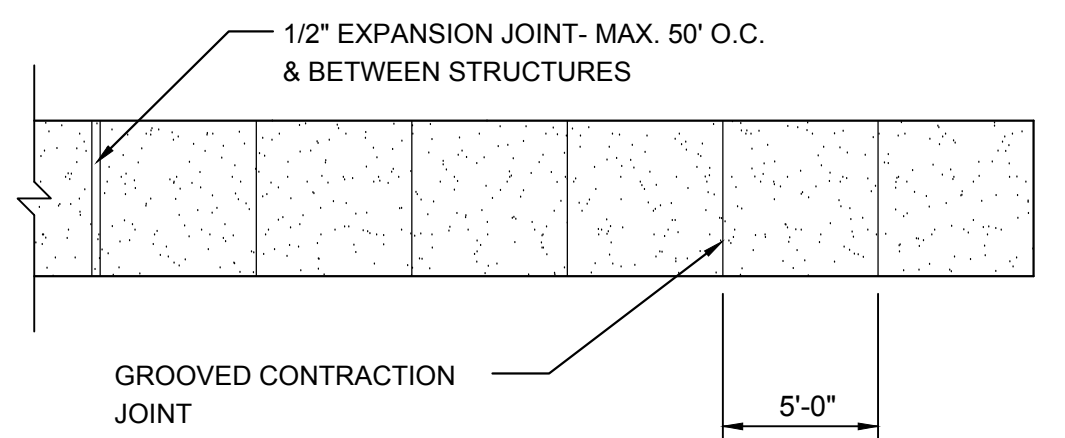
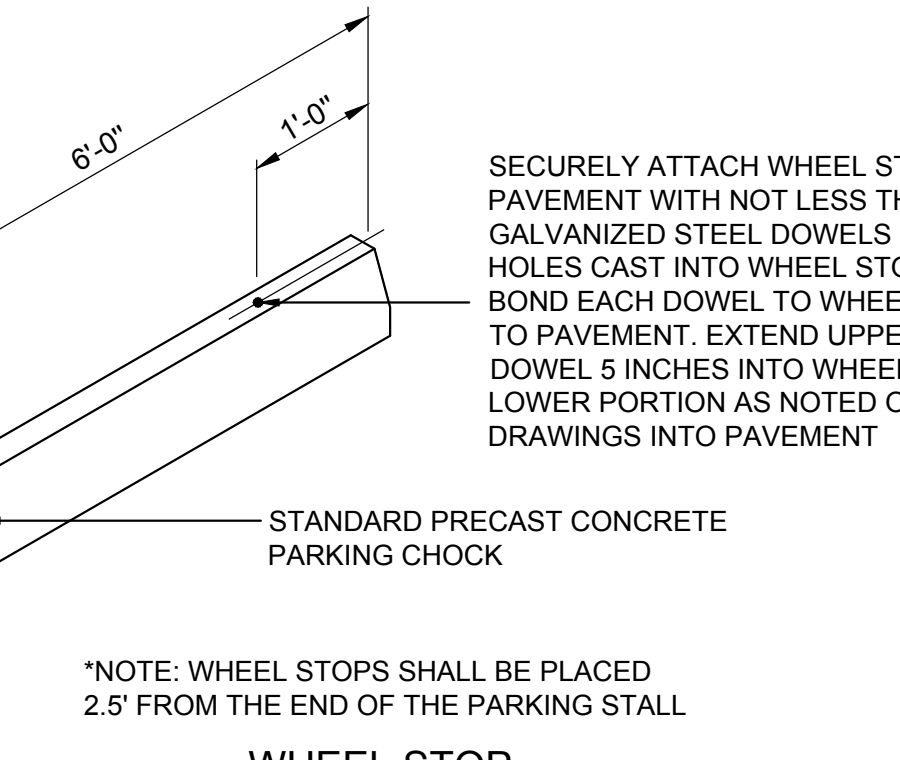
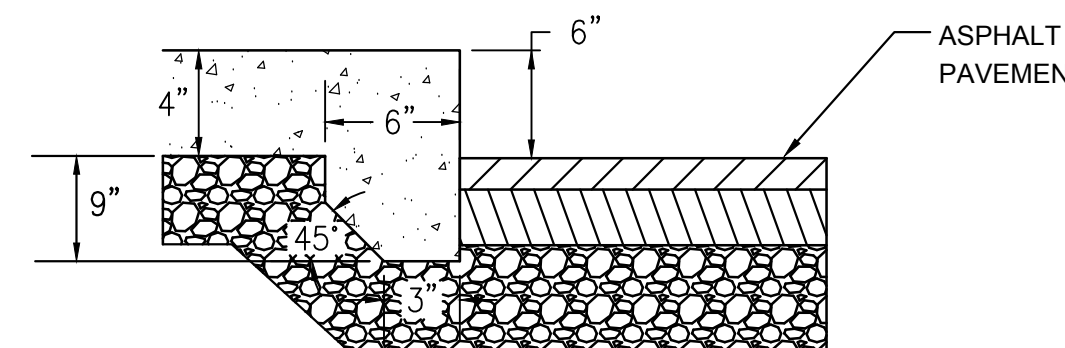
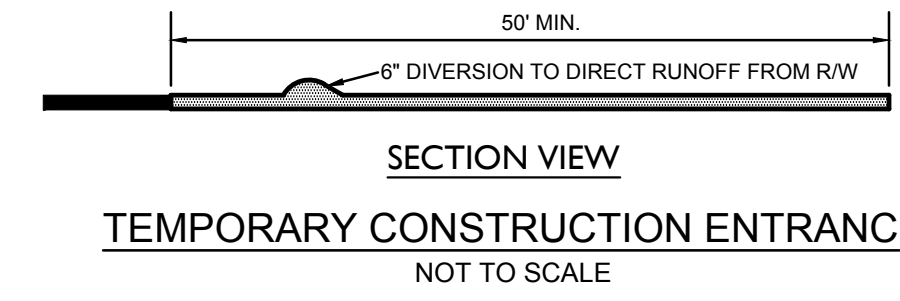
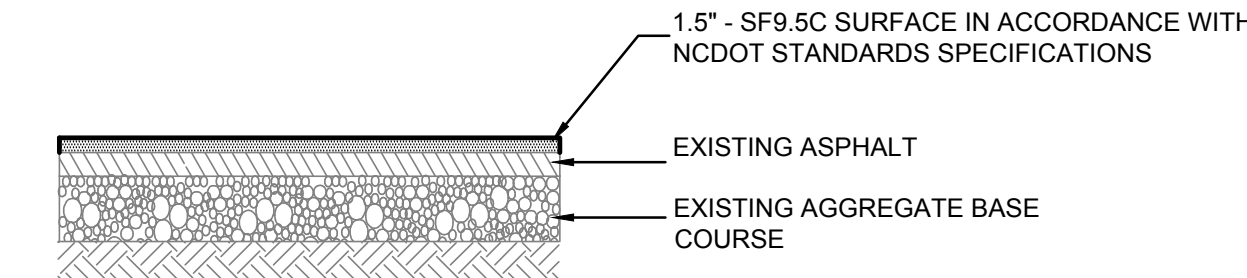
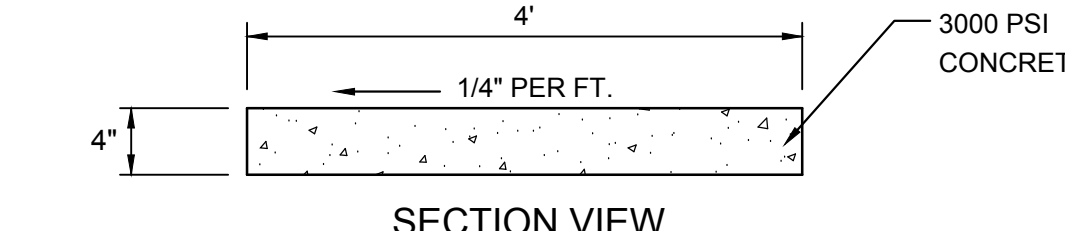
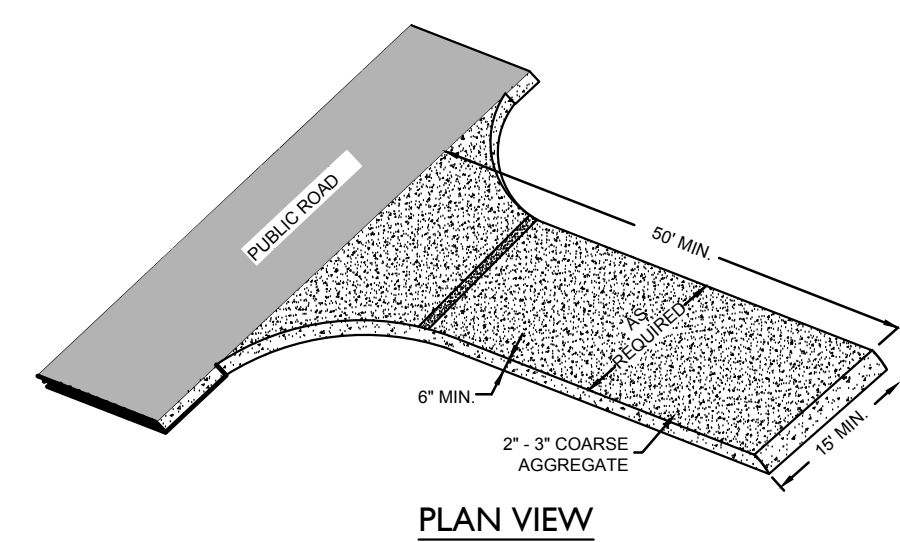
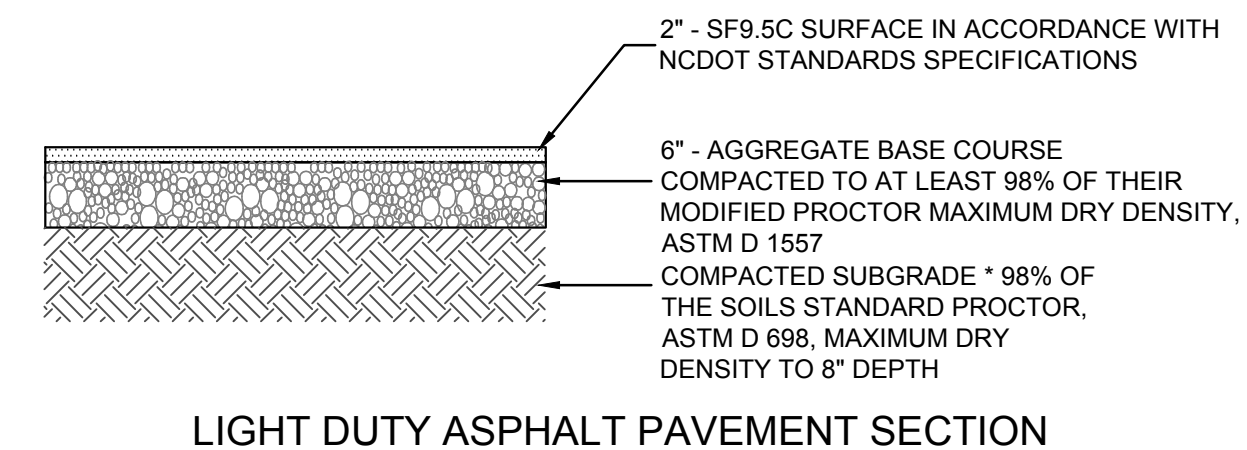
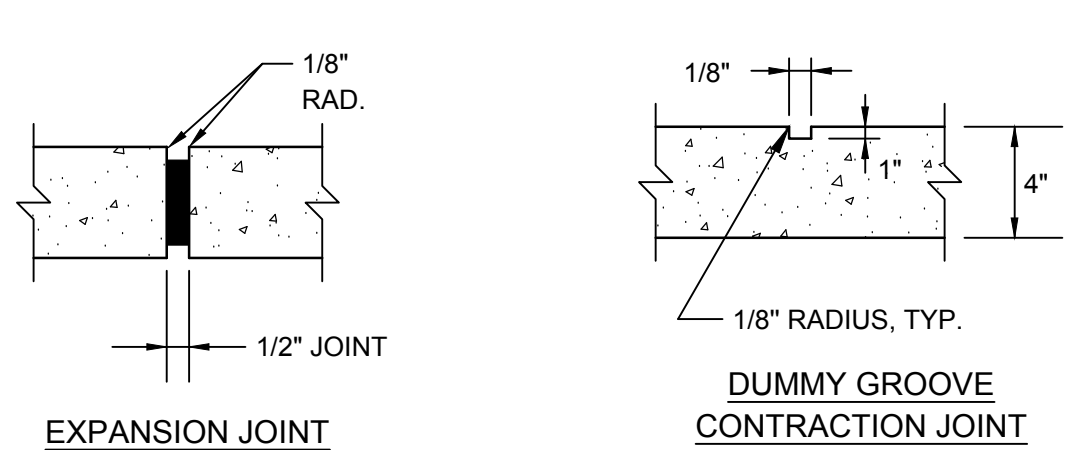
**UTILITY PLAN & PROFILE**  
BAKER LUXURY COLLECTION  
4910 NEW CENTRE DRIVE  
WILMINGTON, NC 28403

**PROJECT STATUS:**  
DATE: 10/26/19  
SCALE: 1"=50'  
DRAWN: ALE  
CHECKED: RBE

Professional Seal  
redacted on electronic  
copy per City of  
Wilmington Policy

**C-4.0**  
PEI JOB#: 19271.PE



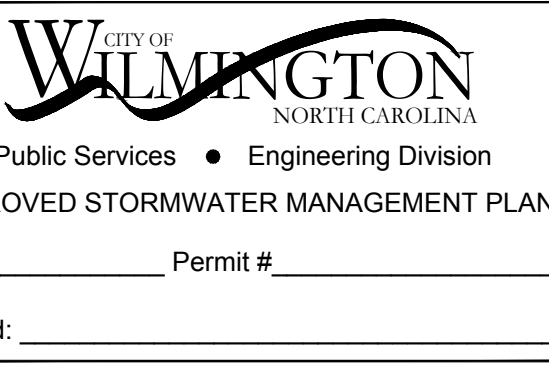


NOTE: THE DANDY SACK™ WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4832	kN (lbs)	1.78 (400) x 1.40 (315)
Grab Tensile Elongation	ASTM D 4832	%	15 x 15
Puncture Strength	ASTM D 4833	kPa (psi)	0.67 (100)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	5500 (800)
Trapezoidal Tear Strength	ASTM D 4533	kN (lbs)	0.67 (150) x 0.33 (75)
UV Resistance	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	1/min/m² (gal/min/ft²)	2852 (70)
Permeability	ASTM D 4491	Sec"	0.90

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4832	kN (lbs)	1.62 (365) x 0.89 (200)
Grab Tensile Elongation	ASTM D 4832	%	24 x 10
Puncture Strength	ASTM D 4833	kPa (psi)	0.40 (60)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	3097 (450)
Trapezoidal Tear Strength	ASTM D 4533	kN (lbs)	0.51 (115) x 0.33 (75)
UV Resistance	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	1/min/m² (gal/min/ft²)	5902 (145)
Permeability	ASTM D 4491	Sec"	2.1

TEMPORARY DANDY SACK® INLET PROTECTION  
NOT TO SCALE



Approved Construction Plan

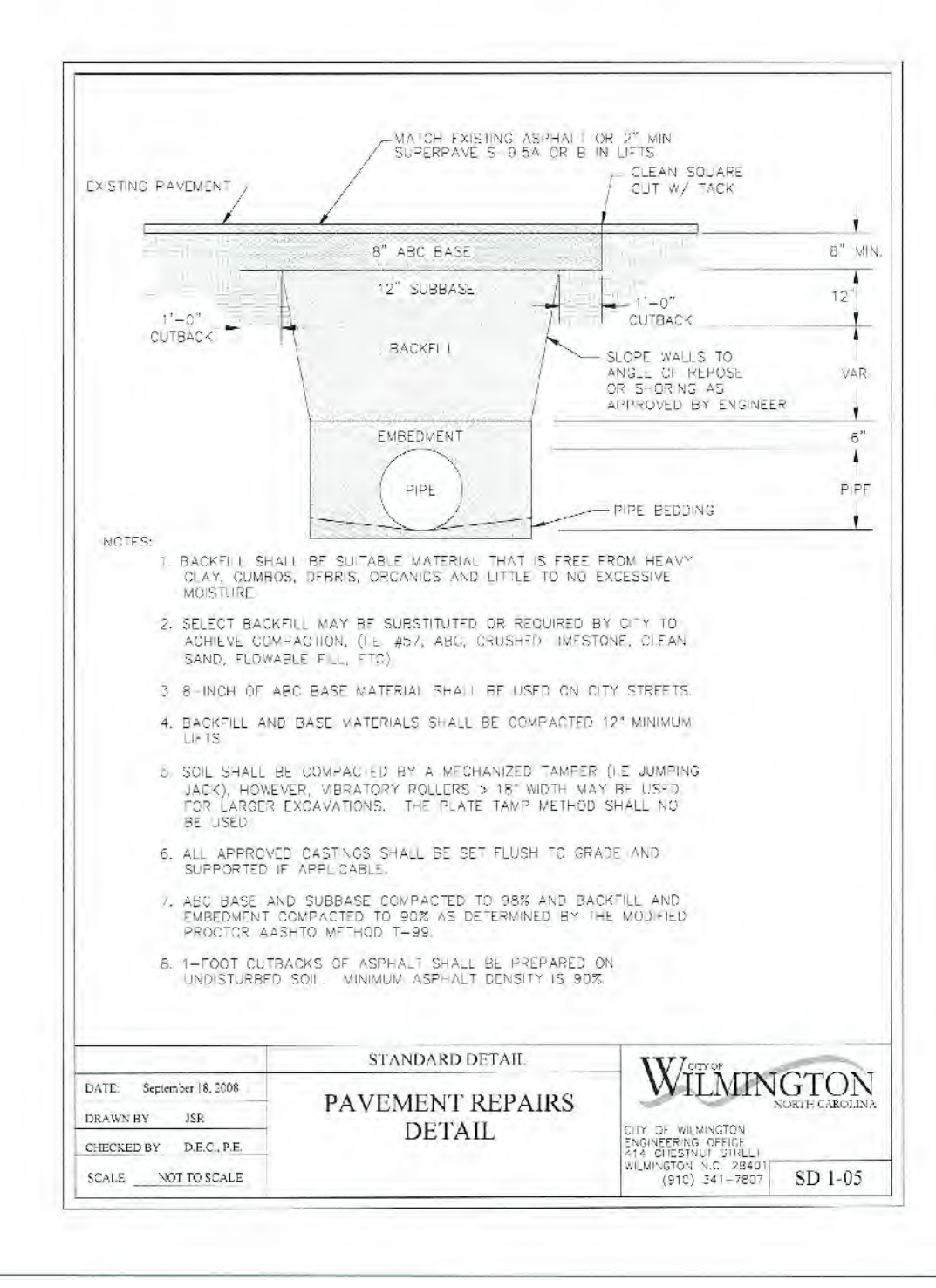
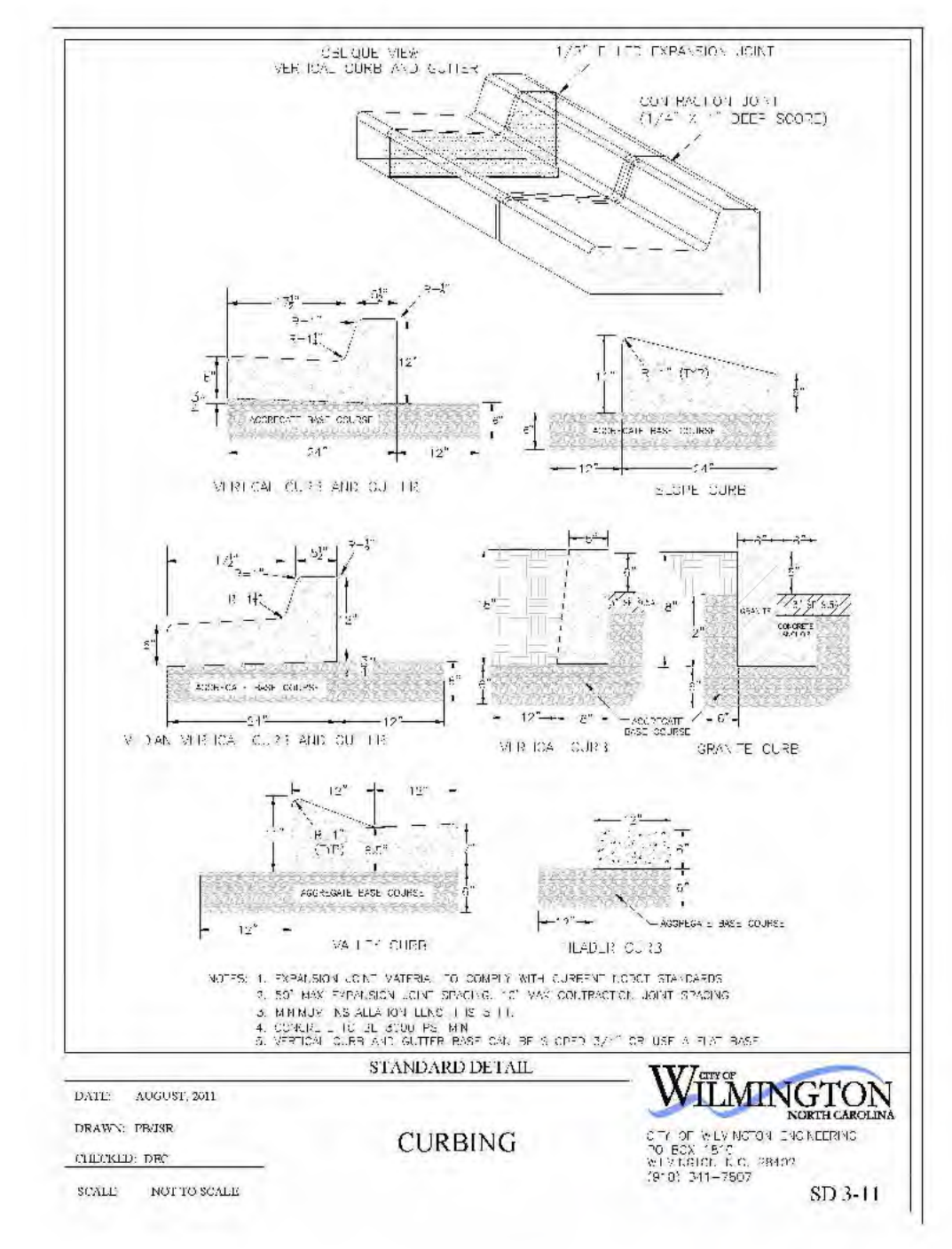
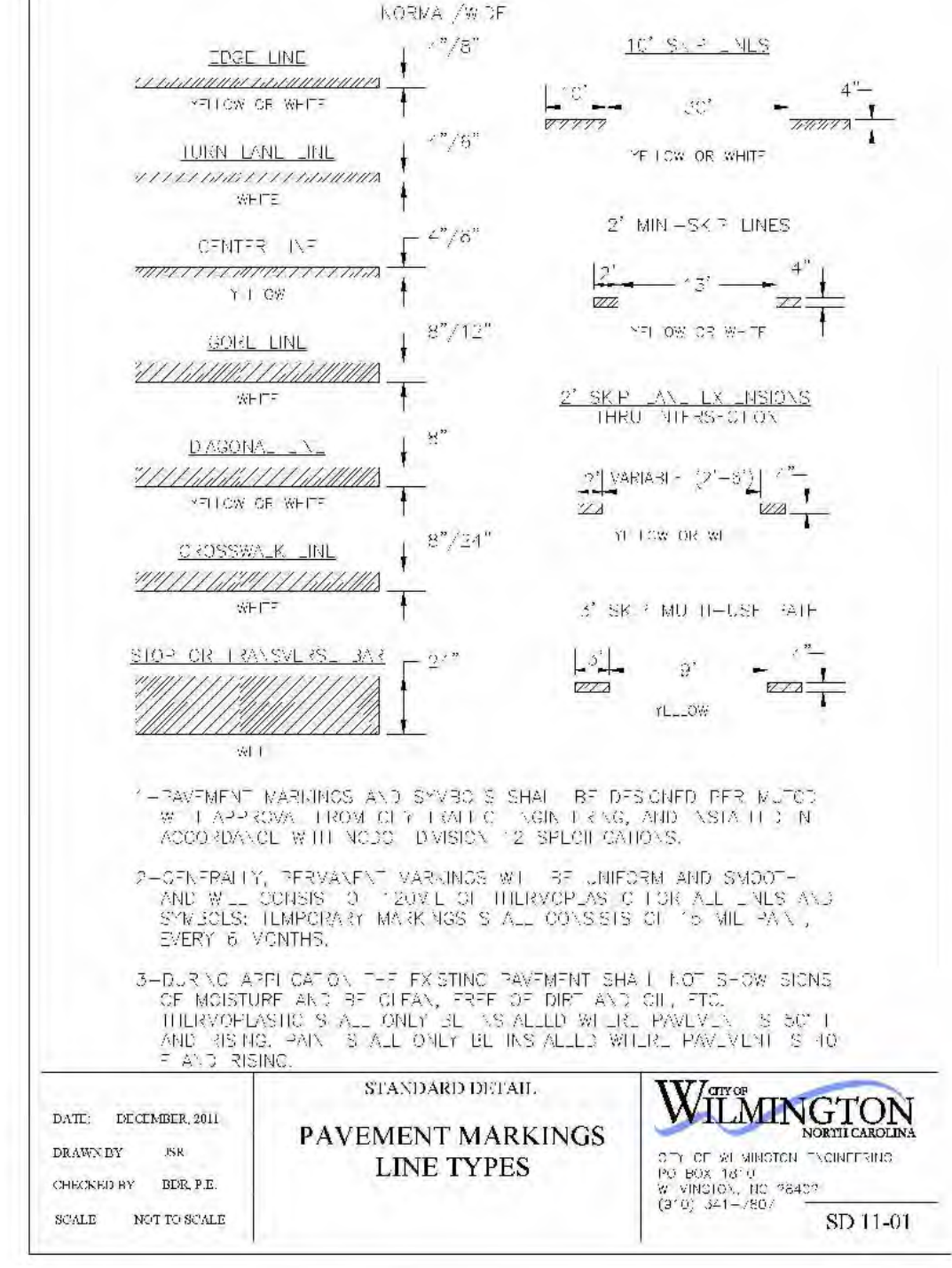
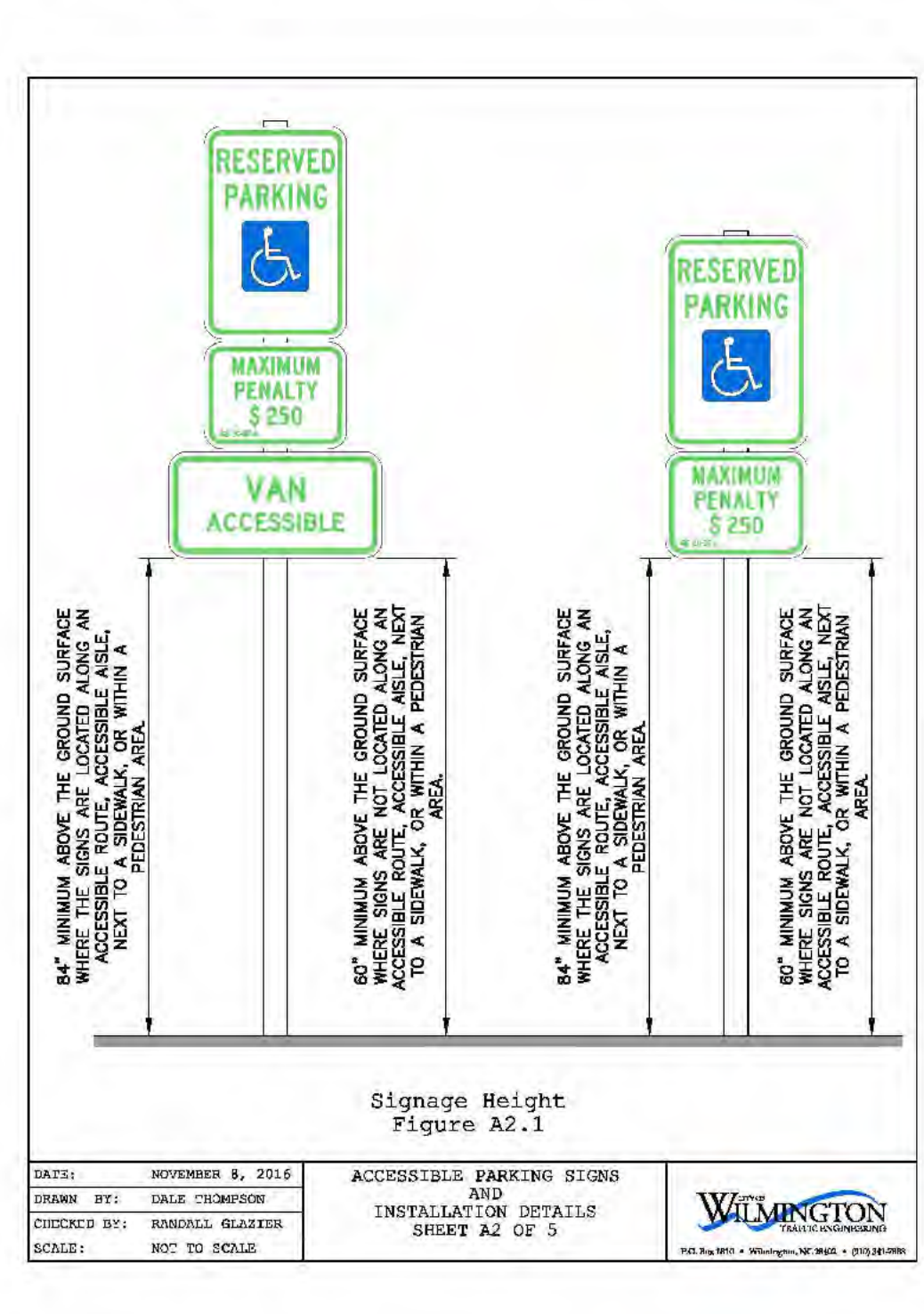
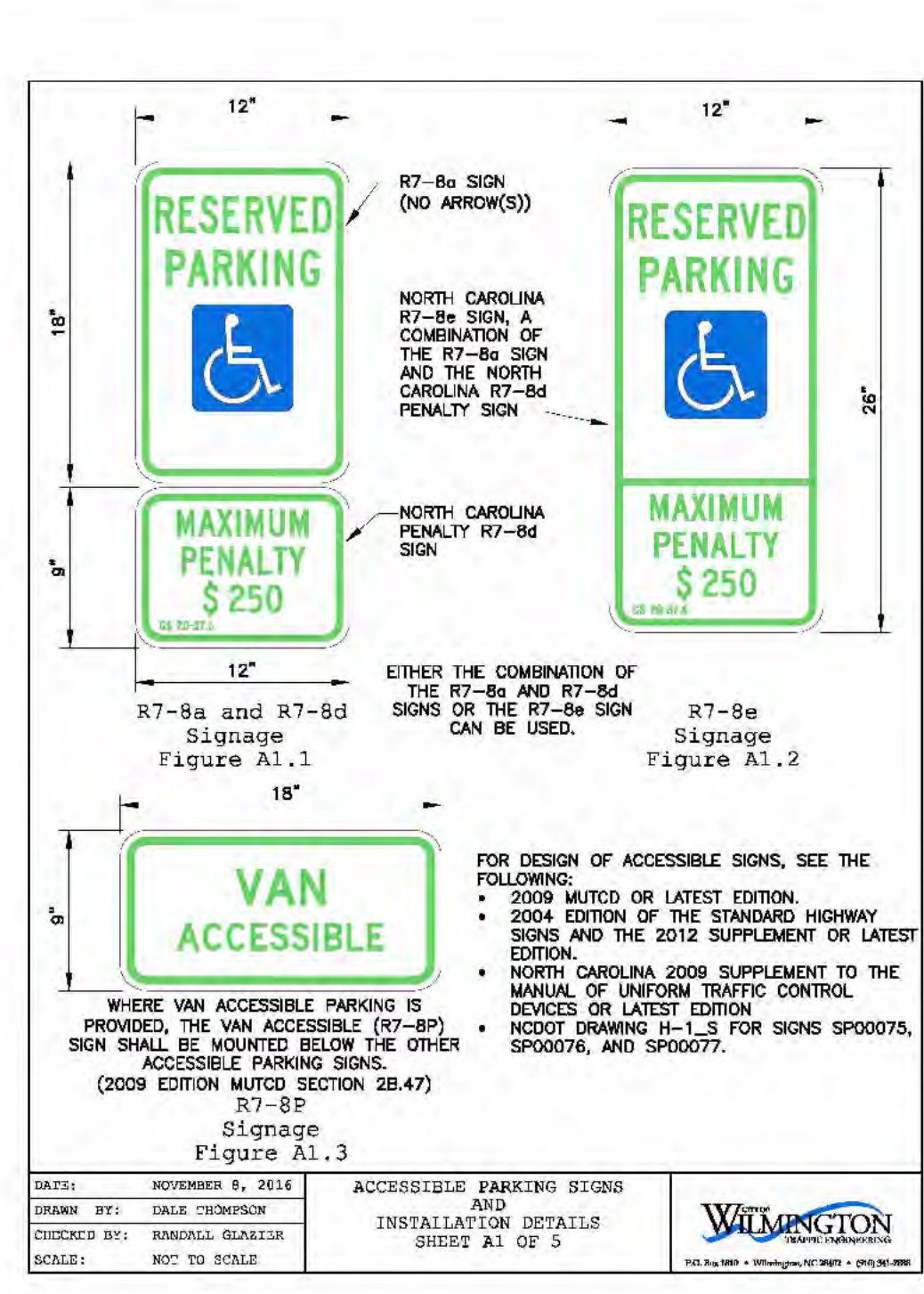
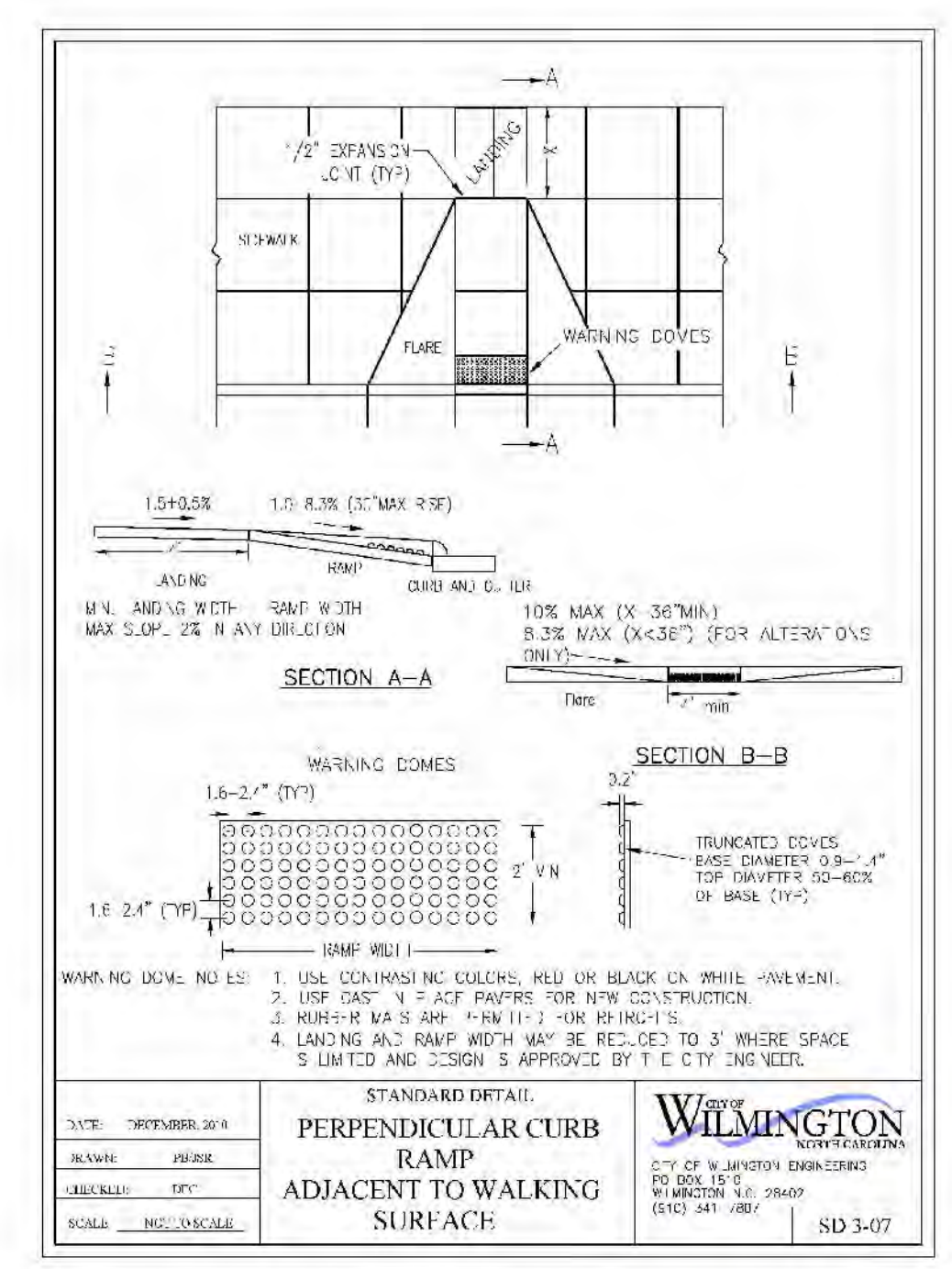
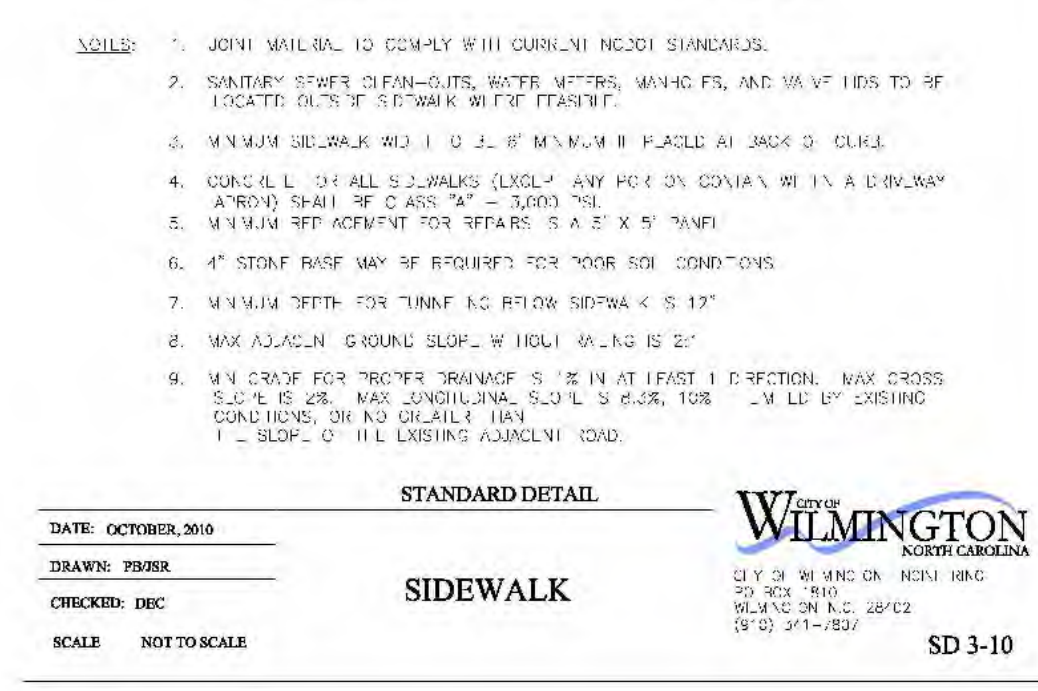
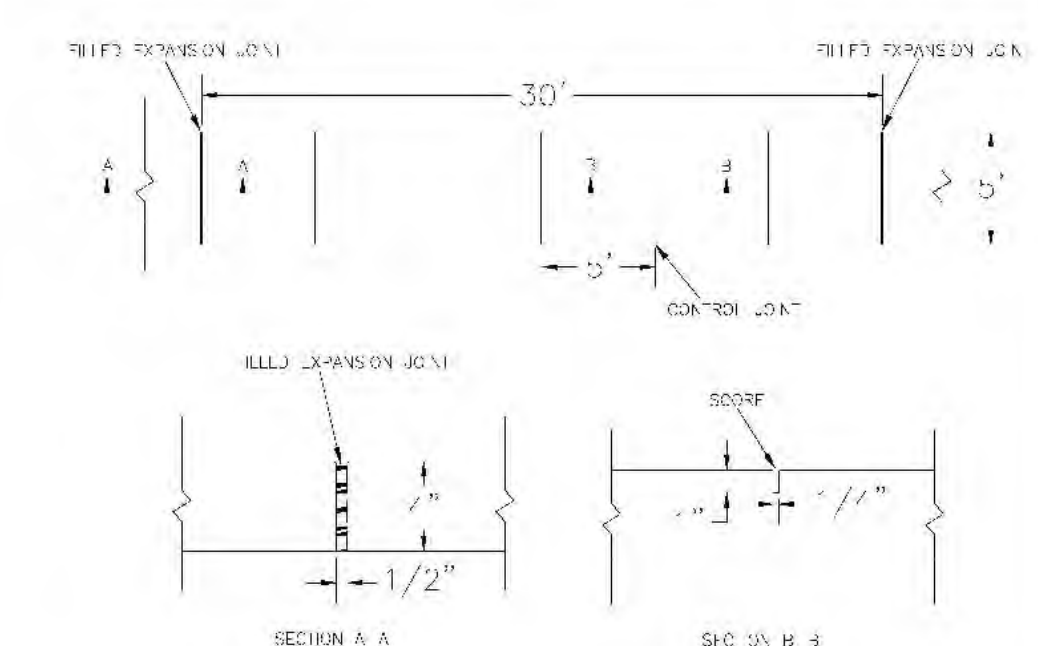
Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:

MONTEITH CONSTRUCTION  
208 PRINCESS STREET  
WILMINGTON, NC 28401

PARAMOUNT ENGINEERING INC.  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6766 (F)  
NC License #: C-2846

DETAILS

BAKER LUXURY COLLECTION  
4910 NEW CENTRE DRIVE  
WILMINGTON, NC 28403

PROJECT STATUS

CONCEPT LAYOUT: \_\_\_\_\_  
FINAL DESIGN LAYOUT: \_\_\_\_\_  
RELEASED FOR CONSTRUCTION: \_\_\_\_\_

DRAWING INFORMATION

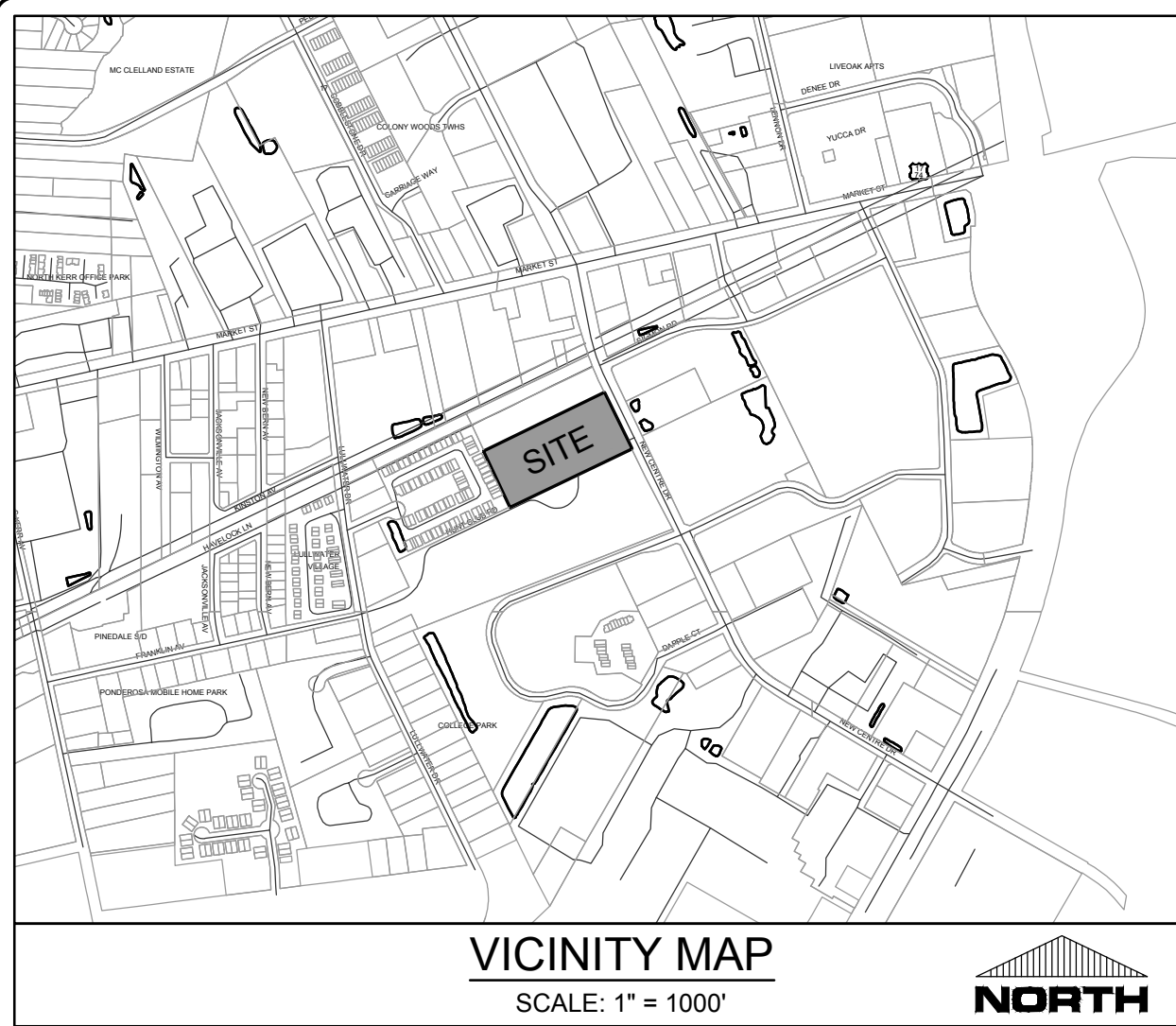
DATE: 10/25/19  
SCALE: N/A  
JOB NO: 19-001  
DRAWN BY: JAC  
CHECKED BY: RPB

Professional Seal  
redacted on electronic copy per City of Wilmington Policy

C-5.0

PEI JOB#: 19271.PE





**SITE INFORMATION**

OWNER INFORMATION: JASPER BOULEVARD, LLC  
1511 SAVANNAH HIGHWAY  
CHARLESTON, SC 29407

PROJECT NAME: BAKER LUXURY COLLECTION  
PROJECT ADDRESS: 4920 NEW CENTRE DRIVE  
WILMINGTON, NC 28403

TAX PARCEL IDENTIFICATION #: R04915-003-003-001  
RECORDED DEED BOOK: BK 5911, PG 2564  
CURRENT ZONING: RB-REGIONAL BUSINESS  
EXISTING USE: 551 - RETAIL AUTO  
PROPOSED USE: 551 - RETAIL AUTO  
TOTAL SITE AREA: 5.97 +/- ACRES OR 259,874 SF  
FLOOD INFORMATION: THIS PARCEL IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3720313700 J, DATED APRIL 3, 2006

CAMA LAND USE CLASSIFICATION: URBAN  
SPECIAL HIGHWAY DISTRICT: N/A

BICYCLE PARKING PROVIDED: 5 SPACES

EXISTING LANDSCAPE TO REMAIN AS BUFFER YARD

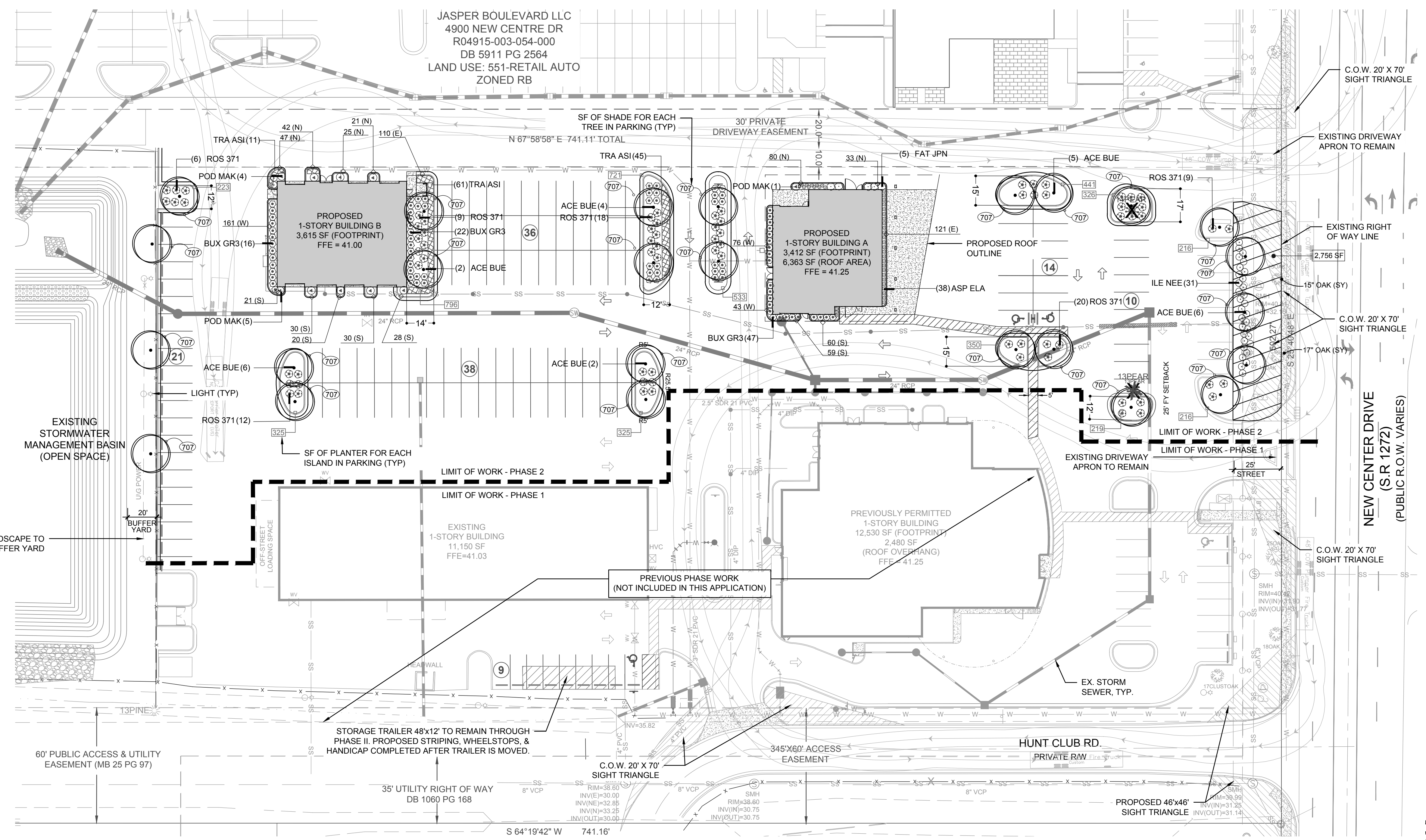
**TRASH REMOVAL**  
TRASH WILL BE HANDLED BY EXISTING DUMPSTER SERVICE LOCATED AT THE REAR OF THE SITE.

- LANDSCAPE NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
  - TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
  - ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
  - NO TREE, OTHER THAN THOSE SHOWN ON APPROVED PLANS FOR REMOVAL WITH THESE PLANS AND/OR TREE REMOVAL PERMIT PLANS, SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING TURF AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
  - ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. SINGLE TREES SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 5 FEET DIAMETER.
  - PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
  - ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
  - THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
  - THE CONTRACTOR SHALL PREPARE ALL SEEDED OR SODDED AREAS TO ASSURE THAT THE SUBGRADE HAS BEEN RAKED AND ROLLED TO ACCEPT THE SOD/SEED. ALL SOD/SEED AREAS MUST BE IRRIGATED OR HAND WATERED. ALL SOD SHALL BE PLACED WITH STAGGERED JOINTS AND NO GAPS BETWEEN SOD JOINTS. SOD SHOULD BE ROLLED AFTER INSTALLATION. ALL SEEDED AND/OR SODDED AREAS SHOULD PROVIDE A SMOOTH SURFACE FREE OF DIPS AND UNLEVEL GROUND.
  - IRRIGATION SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
  - THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6 MONTHS FROM THE ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE IF IRRIGATION HAS NOT BEEN INSTALLED AT THE TIME OF SUBSTANTIAL COMPLETION. ALL MATERIAL INCLUDING SOD AND SEEDED AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE SURVIVAL OF PLANTS.
  - CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.
  - ALL DISTURBED AREAS NOT DESIGNATED FOR SOD SHALL BE SEEDED.
  - ALL VEGETATION PROPOSED WITHIN SIGHT DISTANCE AREAS SHALL NOT INTERFERE WITH SIGHT DISTANCE FROM 30' TO 10'.
  - PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.

**FOUNDATION PLANTING REQUIREMENTS**

	REQ'D	PROV
<b>CALCULATIONS PER EACH SIDE OF BUILDING 'A':</b>		
NORTH: 55.66 LF X 16' = 906.56 * 0.12 = 108.78 SF	108.79 SF	113 SF
SOUTH: 55.66 LF X 16' = 906.56 * 0.12 = 108.78 SF	108.79 SF	119 SF
EAST: 60.66 LF X 16' = 970.56 * 0.12 = 116.46 SF	116.46 SF	121 SF
WEST: 56.58 LF X 16' = 905.28 * 0.12 = 108.63 SF	108.63 SF	119 SF
<b>TOTAL:</b>	<b>442.67 SF</b>	<b>472 SF</b>
<b>CALCULATIONS PER EACH SIDE OF BUILDING 'B':</b>		
NORTH: 67 LF X 16' = 1,072 * 0.12 = 128.6 SF	128.6 SF	135 SF
SOUTH: 67 LF X 16' = 1,072 * 0.12 = 128.6 SF	128.6 SF	129 SF
EAST: 55 LF X 16' = 880 * 0.12 = 105.8 SF	105.8 SF	106 SF
WEST: 55 LF X 16' = 880 * 0.12 = 105.8 SF	105.8 SF	161 SF
<b>TOTAL:</b>	<b>468.8 SF</b>	<b>535 SF</b>

(SEE PLAN FOR SF FOR EACH PLANTER AREA AT FOUNDATION)



**LANDSCAPE CALCULATIONS:**

**STREET YARD LANDSCAPING - Sec. 18-477**  
STREET YARD LANDSCAPING TO BE PROVIDED IN EARLIER PHASE WORK (SEE APPROVED PLANS)

**PARKING LOT LANDSCAPING**  
**Interior Area Landscaping - Sec. 18-481**  
64,455 SF \* 20% SHADING  
(19) TREES @ 707 SF EACH = 13,433 SF  
(SEE PLAN FOR SF OF SHADE ASSIGNED FOR EACH TREE IN PARKING/VEHICULAR AREAS)

**Parking Area Screening - Sec. 18-483**  
PARKING AREA SCREENING TO BE PROVIDED IN EARLIER PHASE WORK (SEE APPROVED PLANS)

**BUFFER YARDS - Sec. 18. 18-503**  
Existing vegetation along Hunt Club Road and at the west (rear) boundary to Count as required Buffer Yard screening between the proposed project and the adjacent residential properties. (See Plan).  
Additional vegetation shall be installed as required to meet the Buffer Yard requirements where existing vegetation does not provide required screening

**PLANT SCHEDULE**

TREES	CODE	BOTANICAL / COMMON NAME	CONT	QTY
(Symbol)	ACE BUE	ACER BUERGERIANUM / TRIDENT MAPLE	2" CAL	25
(Symbol)	SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY
(Symbol)	ASP ELA	ASPIDISTRA ELATIOR / CAST IRON PLANT	3 GAL	38
(Symbol)	BUX GR3	BUXUS X 'GREEN GEM' / GREEN GEM BOXWOOD	7 GAL	87
(Symbol)	FAT JPN	FATSIA JAPONICA / JAPANESE FATSIA	3 GAL	5
(Symbol)	ILE NEE	ILEX CORNUTA / NEEDLEPOINT HOLLY	7 GAL / 3' HT.	31
(Symbol)	POD MAK	PODOCARPUS MACROPHYLLUS MAKI / SHRUBBY YEW	3' HT	10
(Symbol)	ROS 371	ROSA X 'MEIGALPIO' / RED DRIFT ROSE	3 GAL	74
(Symbol)	GROUND COVERS	BOTANICAL / COMMON NAME	CONT	QTY
(Symbol)	TRA ASI	TRACHELOSPERMUM ASIATICUM / ASIAN JASMINE	4" POTS	117

**LEGEND:**

- (Symbol) SF OF SHADE PROVIDED PER TREE AT PARKING FACILITY
- (Symbol) STREET YARD PLANTING REQ'MENTS SF OF PLANTER AREA IN PARKING FACILITY
- (Symbol) EXISTING TREE TO BE REMOVED (SEE TREE REMOVAL WORKSHEET, THIS SHEET)
- (Symbol) FOUNDATION PLANTING REQUIREMENTS SF OF PLANTER AREA (LETTER INDICATES SIDE OF BLDG.)

NCDENR PWSS WATER PERMIT #: \_\_\_\_\_ GPD

WATER CAPACITY: \_\_\_\_\_ GPD

DWQ SEWER PERMIT #: \_\_\_\_\_ GPD

SEWER CAPACITY: \_\_\_\_\_ GPD

SEWER SHED # AND PLANT: \_\_\_\_\_

SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

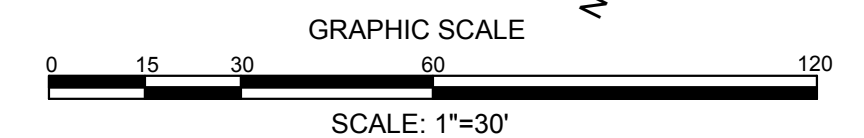
**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_



**REVISIONS:**

NO.	DATE	DESCRIPTION
1	08/16/19	PHASE 2 DESIGN
2	09/19/19	REVISE PHASE LINE & PLANT SUBSTITUTIONS
3	10/21/19	RESPONSE TO TRC COMMENTS

**CLIENT INFORMATION:**

**PARAMOUNT ENGINEERING & PLANNING**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6766 (F)  
NC License #: C-2846

**LANDSCAPE PLAN**  
**PHASE 2**  
BAKER LUXURY COLLECTION  
4910 NEW CENTRE DRIVE  
WILMINGTON, NC 28403

**PROJECT STATUS**

CONCEPTUAL LAYOUT:	10/26/19	DATE
FINAL DESIGN:	11-30-19	DATE
RELEASED FOR CONSTRUCTION:	11-30-19	DATE

Professional Seal redacted on electronic copy per City of Wilmington Policy

**L-1.0**

PEI JOB#: 19271.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION